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RICHMOND AMERICAN HOMES OF ID

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AMOUNT \$21.00



PLAT RECORDING SHEET

Digital Plat Image Available in Separate System

BOOK

124

PAGE

19799

Thru

19802

SURVEYOR

KYLE A KOOMLER

SUBDIVISION NAME

GREINERS HOPE SPRINGS SUBDIVISION
NO 5

OWNERS

RICHMOND AMERICAN HOMES OF IDAHO INC

AT THE REQUEST OF

RICHMOND AMERICAN HOMES OF IDAHO INC

COMMENTS

SW ¼ NW ¼ SEC 5 T4N R1W
SE ¼ NE ¼ SEC 6 T4N R1W

GREINERS HOPE SPRINGS SUBDIVISION NO. 5

LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 5, AND IN THE SE 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO, AND BEING A REPLAT OF A PART OF LOTS 6 AND 9 OF BLOCK 1 OF RUSTY SPUR RANCHETTES SUBDIVISION NO. 2

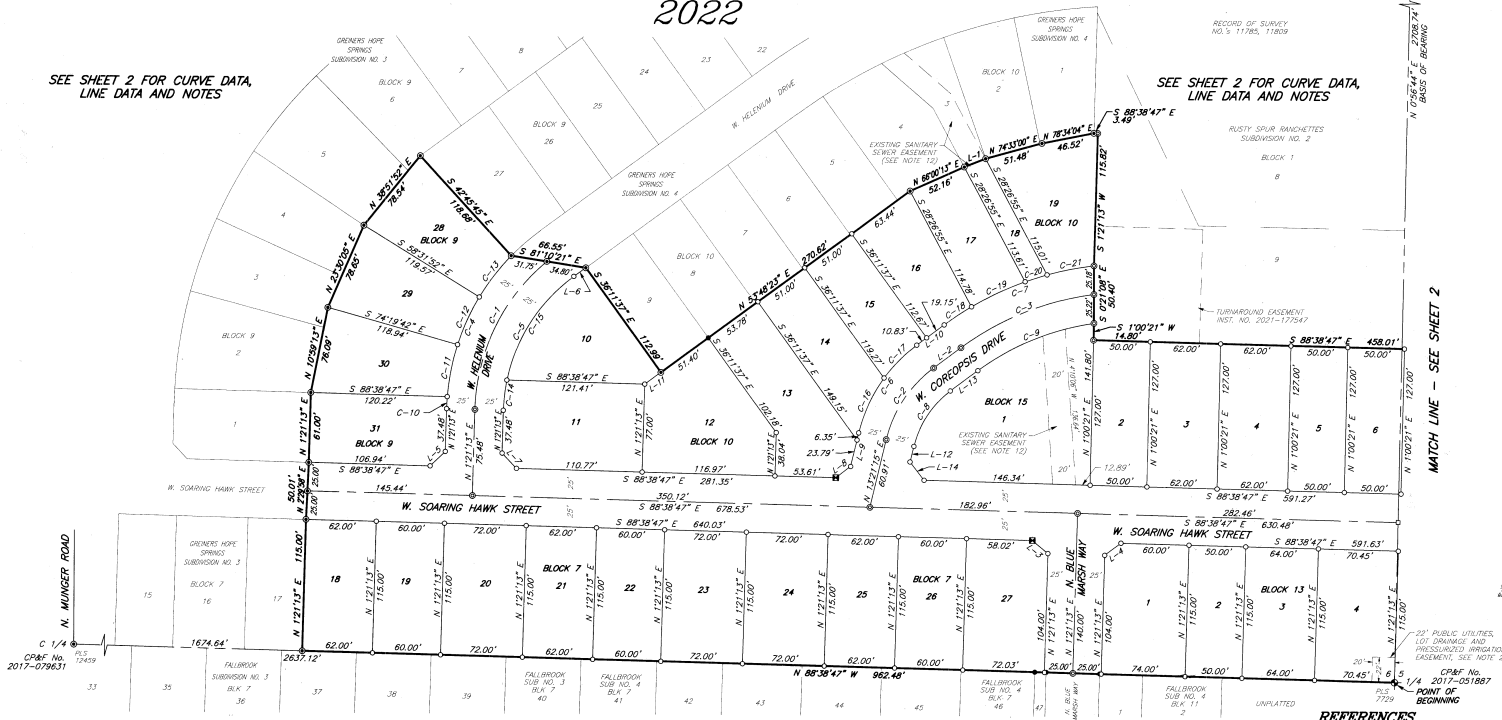
A DEVELOPMENT BY RICHMOND AMERICAN HOMES OF IDAHO, INC.

2022

SEE SHEET 2 FOR CURVE DATA, LINE DATA AND NOTES

SEE SHEET 2 FOR CURVE DATA, LINE DATA AND NOTES

MATCH LINE - SEE SHEET 2

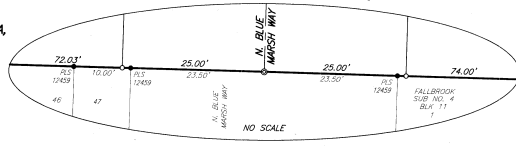
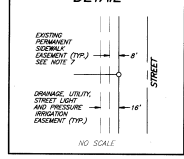


LEGEND

- SUBDIVISION BOUNDARY
- SET 5/8"x24" IRON PIN WITH PLS 18780 PLASTIC CAP
- SET 1/2"x24" IRON PIN WITH PLS 18780 PLASTIC CAP
- SET 1.2" COPPER MONUMENT WITH MAGNET IN CONCRETE DRIVEWAY OR SIDEWALK
- FOUND BRASS CAP MONUMENT
- FOUND ALUMINUM CAP MONUMENT
- FOUND 5/8" IRON PIN WITH PLS 18780 PLASTIC CAP OR AS NOTED
- FOUND 1/2" IRON PIN WITH PLS 18780 PLASTIC CAP OR AS NOTED
- CALCULATED POINT, NOTHING SET
- SECTION LINE
- STREET CENTERLINE
- LOT LINE
- EXISTING LOT LINE
- EASEMENT LINE
- PLATTED LINE

SEE SHEET 2 FOR CURVE DATA, LINE DATA AND NOTES

STREET EASEMENT DETAIL



SURVEYOR NARRATIVE

THE PLAT OF GREINERS HOPE SPRINGS SUBDIVISION NO. 5 IS A CONTINUATION OF THE MASTER PLAN FOR THE GREINERS HOPE SPRINGS SUBDIVISION. THIS SUBDIVISION IS A RE-PLAT OF A PART OF LOTS 6 AND 9 OF BLOCK 1 OF RUSTY SPUR RANCHETTES NO. 2 AS SHOWN IN BOOK 64 OF PLATS AT PAGE 6556 IN THE OFFICE OF THE RECORDER, ADA COUNTY, IDAHO.

GREINERS HOPE SPRINGS SUBDIVISION NO. 5 IS BOUNDED TO THE SOUTH BY FALLBROOK SUBDIVISION NO. 3, FALLBROOK SUBDIVISION NO. 4, AND UNPLATTED LANDS, BOUNDED TO THE EAST BY RUSTY SPUR RANCHETTES NO. 2, RUSTY SPUR RANCHETTES NO. 3, RUSTY SPUR RANCHETTES NO. 4, GREINERS HOPE SPRINGS SUBDIVISION NO. 3, GREINERS HOPE SPRINGS SUBDIVISION NO. 4, AND RUSTY SPUR RANCHETTES SUBDIVISION NO. 2.

THE MONUMENTS ALONG THE BOUNDARY OF GREINERS HOPE SPRINGS SUBDIVISION NO. 3 AND 4 WERE FOUND IN PLACE AND UNDISTURBED UNLESS OTHERWISE SHOWN. THE REMAINING PROPERTY LINES WERE DEVELOPED AS PER THE OWNER AS SHOWN HEREON.

REFERENCES

REFERENCE RECORD OF SURVEY NUMBERS: 1228, 1249, 2473, 4087, 7793, 11785, 11809

REFERENCE PLATS OF: RUSTY SPUR RANCHETTES NO. 2, RUSTY SPUR RANCHETTES NO. 3, RUSTY SPUR RANCHETTES NO. 4, GREINERS HOPE SPRINGS NO. 3, GREINERS HOPE SPRINGS NO. 4, FALLBROOK SUBDIVISION NO. 3, FALLBROOK SUBDIVISION NO. 4



CIVIL SURVEY CONSULTANTS, INC.

2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 888-4312

GREINERS HOPE SPRINGS SUBDIVISION NO. 5

CERTIFICATE OF OWNERS

KNOW ALL MEN BY THESE PRESENTS: That we, the undersigned, are the Owners of the real property described below in City of Star, Ada County, Idaho, and that we intend to include the following described property in this GREINERS HOPE SPRINGS SUBDIVISION NO. 5:

A parcel located in the SW 1/4 of the NW 1/4 of Section 5, and in the SE 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, City of Star, and being a part of Lots 6, 7, 8 and 9 of Block 1 of RUSTY SPUR RANCHETTES SUBDIVISION NO. 2 as shown in Book 64 of Plats of Pages 6556 - 6557, in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

BEGINNING at an aluminum cap monument marking the southeasterly corner of said SE 1/4 of the NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said Section 6 bears N 0°56'44"E a distance of 2708.74 feet;

Thence N 88°38'47"W along the southerly boundary of said SE 1/4 of the NE 1/4 a distance of 962.48 feet to a 5/8 inch diameter iron pin marking the southeasterly corner of GREINERS HOPE SPRINGS SUBDIVISION NO. 3 as shown in Book 121 of Plats at Pages 19050 - 19053 in said office of the Recorder;

Thence leaving said southerly boundary and along said easterly boundary the following described courses:

Thence N 1°21'13"E a distance of 115.00 feet to a 5/8 inch diameter iron pin;

Thence N 2°29'58"E a distance of 50.01 feet to a 5/8 inch diameter iron pin;

Thence N 1°21'13"E a distance of 61.00 feet to a 5/8 inch diameter iron pin;

Thence N 10°59'13"E a distance of 76.09 feet to a 5/8 inch diameter iron pin;

Thence N 23°30'05"E a distance of 78.65 feet to a 5/8 inch diameter iron pin;

Thence N 38°51'52"E a distance of 78.54 feet to a 5/8 inch diameter iron pin marking the westerly corner of GREINERS HOPE SPRINGS SUBDIVISION NO. 4 as shown in Book 122 of Plats at Pages 19327 - 19330 in said office of the Recorder;

Thence leaving said easterly boundary and along the southerly boundary of said GREINERS HOPE SPRINGS SUBDIVISION NO. 4 the following described courses:

Thence S 42°45'45"E a distance of 118.68 feet to a 5/8 inch diameter iron pin;

Thence S 81°10'21"E a distance of 66.55 feet to a 5/8 inch diameter iron pin;

Thence S 36°11'37"E a distance of 112.99 feet to a 5/8 inch diameter iron pin;

Thence N 53°48'23"E a distance of 270.62 feet to a 5/8 inch diameter iron pin;

Thence N 66°00'13"E a distance of 52.16 feet to a 5/8 inch diameter iron pin;

Thence N 68°20'40"E a distance of 20.07 feet to a 5/8 inch diameter iron pin;

Thence N 74°33'00"E a distance of 51.48 feet to a 5/8 inch diameter iron pin;

Thence N 78°34'04"E a distance of 46.52 feet to a 5/8 inch diameter iron pin marking the southeasterly corner of said GREINERS HOPE SPRINGS SUBDIVISION NO. 4;

Thence leaving said southerly boundary S 88°38'47"E a distance of 3.49 feet to a 5/8 inch diameter iron pin;

Thence S 1°21'13"W a distance of 115.82 feet to a 5/8 inch diameter iron pin;

Thence S 0°21'08"E a distance of 50.40 feet to a 5/8 inch diameter iron pin;

Thence S 1°00'21"W a distance of 14.80 feet to a 5/8 inch diameter iron pin;

Thence S 88°38'47"E a distance of 458.01 feet to a 5/8 inch diameter iron pin;

Thence N 73°49'01"E a distance of 52.34 feet to a 5/8 inch diameter iron pin;

Thence S 88°59'39"E a distance of 112.00 feet to a 5/8 inch diameter iron pin on the westerly boundary of Lot 2 of Block 1 of RUSTIC RIDGE SUBDIVISION as shown in Book 111 of Plats at Pages 16052 - 16054 in said office of the Recorder;

Thence S 1°00'21"W along said westerly boundary a distance of 306.39 feet to a brass cap monument marking the southwesterly corner of said Lot 2, said point being on the southerly boundary of said SW 1/4 of the NW 1/4;

Thence leaving said westerly boundary N 88°59'12"W along said southerly boundary a distance of 347.86 feet to the POINT OF BEGINNING.

This parcel contains 10.056 acres, more or less.

CERTIFICATE OF OWNERS (CONT'D)

All the lots in this subdivision will be eligible to receive irrigation water as provided under Idaho Code 31-3805(1)(b) and lies within the Middleton Irrigation Association and Middleton Mill Ditch Company and the Farmers Union Ditch Company and are subject to assessments for said water.

All the lots in this subdivision will be eligible to receive water and sewer service from the Star Sewer and Water District. The Star Sewer and Water District has agreed in writing to serve all the lots in this subdivision.

The public streets shown on this plat are hereby dedicated to the public. Public utility, irrigation and drainage easements on this plat are not dedicated to the public, but the right of access to, and use of, these easements is hereby reserved for public utilities, irrigation and drainage and any other purposes as may be designated hereon and no permanent structures other than for said uses are to be erected within the limits of said easements.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HAND THIS 3 DAY OF FEB, 2022.

Richmond American Homes of Idaho, Inc.


By Paul Peterson, Regional President

ACKNOWLEDGMENT

STATE OF IDAHO } s.s.
COUNTY OF ADA }

ON THIS 3rd DAY OF FEB, 2022, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED PAUL PETERSON, KNOWN TO ME TO BE THE REGIONAL PRESIDENT OF RICHMOND AMERICAN HOMES OF IDAHO, INC. THE PERSON WHO EXECUTED THE INSTRUMENT AND ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.



MY COMMISSION EXPIRES FEB. 13, 2023

RESIDING AT ADA COUNTY


NOTARY PUBLIC FOR THE STATE OF IDAHO



CIVIL SURVEY CONSULTANTS, INC.

2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 688-4312

CERTIFICATE OF SURVEYOR

I, KYLE A. KOOMLER DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF IDAHO, AND THAT THIS PLAT AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" WAS DRAWN FROM THE FIELD NOTES OF A SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

KYLE A. KOOMLER
IDAHO NO. 18780

**APPROVAL OF THE CITY ENGINEER**

I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, ON THIS DAY, September 15, 2022 HEREBY APPROVE THIS PLAT OF GREINERS HOPE SPRINGS SUBDIVISION NO. 5.

Ken 2 Mue PE #11621
CITY ENGINEER - STAR, IDAHO

CERTIFICATE OF THE COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR IN AND FOR ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

DATE 20 September 2022



RLP
ADA COUNTY SURVEYOR
Pcs # 13553

CERTIFICATE OF COUNTY RECORDER

STATE OF IDAHO } s.s.
COUNTY OF ADA }

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF Richmond Mexican Homes of Idaho Inc. AT 10 MINUTES PAST 2 O'CLOCK P.M. ON THIS 20th DAY OF September, 2022.

Ymday Wheeler
DEPUTY

Phil McVane
EX-OFFICIO RECORDER

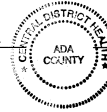
BOOK 124 PAGES 19799-19802

INSTRUMENT NO. 2022-080722

**HEALTH CERTIFICATE**

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE-IMPOSED IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF DISAPPROVAL.

DATE 2-9-2022



Roni Bell PEHS
CENTRAL DISTRICT HEALTH

ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ACCEPTANCE

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE 13th DAY OF September, 2022.



Mauhan
ADA COUNTY HIGHWAY DISTRICT
COMMISSIONER PRESIDENT

APPROVAL OF CITY COUNCIL

I, THE UNDERSIGNED, CITY CLERK IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE CITY COUNCIL HELD ON July 19, 2022 THIS FINAL PLAT WAS APPROVED AND ACCEPTED.



SM 2 9-19-2022
Sumner City Clerk

CERTIFICATE OF THE COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS OF I.C. 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

DATE 9-20-2022

Elizabeth Mahn
COUNTY TREASURER

Signed by Deputy: Cheranda Leggett

**After Recording
Return to:**

**Hethe Clark
Clark Wardle LLP
PO Box 639
Boise, ID 83701**

FOR RECORDING INFORMATION

**FOURTH AMENDMENT TO DECLARATION
OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS
FOR GREINERS HOPE SPRINGS SUBDIVISION
(Phase 5)**

This Fourth Amendment to Declaration of Covenants, Conditions, Restrictions and Easements for Greiners Hope Springs Subdivision ("**Fourth Amendment**") is made this 3rd day of November, 2022, to be effective only upon the recording hereof in the official records of Ada County, Idaho, by Green Village 2 Development, Inc., an Idaho corporation ("**Grantor**" and "**Class B Member**") and Richmond American Homes of Idaho, Inc., a Colorado corporation ("**Developer**").

RECITALS

A. On August 21, 2020, Grantor caused to be recorded in the official records of Ada County, Idaho, as Instrument No. 2020-107706, that certain Declaration of Covenants, Conditions, Restrictions and Easements for Greiners Hope Springs Subdivision No. 1 (the "**Original Declaration**"); as amended by that certain First Amendment thereto recorded January 8, 2021, as Instrument No. 2021-004141 (the "**First Amendment**").

B. By that certain Assignment and Assumption of Grantor's Rights (Phase 3) recorded in the official records of Ada County, Idaho, on October 18, 2021, as Instrument No. 2021-150534 (the "**Phase 3 Assignment**"), Grantor assigned all grantor rights under the Original Declaration to Green Village 3 Development, LLC, an Idaho limited liability company ("**GV3**").

C. The Original Declaration was subsequently amended by that certain Second Amendment thereto recorded in the official records of Ada County, Idaho, on October 19, 2021, as Instrument No. 2021-151341 (the "**Second Amendment**").

D. A portion of Grantor's Class B Member rights regarding that portion of the Property commonly known as Greiners Hope Springs Subdivision No. 3 ("**Phase 3**") were assigned by Grantor to TH Holdings 2022, LLC, an Idaho limited liability company ("**TH Holdings**") pursuant to that certain Partial Assignment and Assumption of Class B Member Rights (Phase 3), recorded in the official records of Ada County, Idaho, December 28, 2021, as Instrument No. 2021-181259 (the "**Phase 3 Partial Assignment**").

E. By that certain Partial Assignment and Assumption of Grantor's Rights (Phase 5) recorded in the official records of Ada County, Idaho, on December 29, 2021, as Instrument No. 2021-181443 (the "**Phase 5 Partial Assignment**"), a portion of Grantor's rights pertaining to the portion of the Property commonly known as Greiners Hope Springs Subdivision No. 5 ("**Phase 5**") were assigned to Richmond American Homes of Idaho, Inc., a Colorado corporation ("**Richmond**").

F. The Original Declaration was subsequently amended by that certain Third Amendment thereto recorded in the official records of Ada County, Idaho, on February 4, 2022, as Instrument No. 2022-012794 (the "**Third Amendment**"), which Third Amendment annexed that certain property identified on the plat of Greiners Hope Subdivision No. 4, recorded in the official records of Ada County, Idaho, on

February 4, 2022, as Instrument No. 2022-012794.

G. The Original Declaration, the First Amendment, the Second Amendment, and the Third Amendment are collectively referred to herein as the “**Declaration**”. All capitalized terms not otherwise defined herein shall have the same meanings ascribed to them in the Declaration.

H. As noted in Article I of the Declaration, the Property is to be developed in phases, each of which shall be subject to the Declaration as amended or supplemented from time to time. Developer has caused to be recorded that certain plat identified as Greiners Hope Springs Subdivision No. 5, as filed in Book 124 of Plats at Pages 19799 through 19802, in Ada County, Idaho, on September 20, 2022, as Instrument No. 2022-080722 (the “**Phase 5 Plat**”), and more particularly described and depicted on Exhibit A attached hereto and made a part hereof. (the “**Phase 5 Property**”).

I. Grantor and Developer desire to amend the Declaration, as permitted by Article XII of the Declaration, to confirm, and to declare that the Phase 5 Property and each lot, parcel, or portion thereof, is and/or shall be held, sold, conveyed, encumbered hypothecated, leased, used, used, occupied and improved subject to the terms of the Declaration, and subject to the following terms, covenants, conditions, easements, and restrictions as hereinafter set forth.

NOW THEREFORE, Grantor and Developer hereby declare that the Phase 5 Property and each lot, parcel, or portion thereof, is and shall be sold, conveyed, encumbered, hypothecated, leased, used, occupied and improved subject to the Declaration, and the following terms, covenants, conditions, easements, and restrictions, all of which are declared and agreed to be in furtherance of a general plan for the protection, maintenance, subdivision, improvement, and sale of the Phase 5 Property, and to enhance the value, desirability, and attractiveness of the Phase 5 Property. The terms, covenants, conditions, easements, and restrictions set forth herein shall run with the land constituting the Phase 5 Property and with each estate therein, and shall be binding upon all persons having or acquiring any right, title or interest in the Phase 5 Property, or any lot, parcel, or portion thereof.

In addition to the restrictions set forth in the Declaration, the Phase 5 Property shall be subject to the following:

1. **Association and Voting.** The Phase 5 Property shall be part of Greiners Hope Springs Owners Association, Inc. (the “**Association**”). The Phase 5 Property shall be governed in accordance with the Declaration, as the same may from time to time be amended, including, without limitation, the obligation for and enforcement of Assessments as further described therein:

2. **Design Review.** Any and all improvements shall be subject to review by the ACC, which review will be in accordance with the Architectural Guidelines, as the same may be amended from time to time, and all in accordance with the Declaration.

3. **Designation of Phase 5 Common Area.** The Common Area established in the Phase 5 Property consists of those lots so designated on the Phase 5 Plat, including: Lot 18 of Block 10 and Lot 1 of Block 15. Said Common Area shall be maintained by the Association in accordance with the Declaration.

4. **Storm Drain Maintenance.** Operation and light maintenance of the ACHD storm drain system located on Lot 1 of Block 15 of the Phase 5 Plat shall be provided by the Association as further set forth in the Declaration, and depicted and maintained in accordance with the Stormwater Operations and Maintenance Manual for Greiners Hope Springs Subdivision, revised March 25, 2022, prepared by Civil Survey Consultants, Inc., and attached hereto as **Exhibit B** and made a part hereof (the “**Stormwater Facility O&M Manual**”). Lot 1 of Block 15 is encumbered by that certain First Amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015 as Instrument No. 2015-103256, official records of Ada County, and incorporated herein by this reference as if set forth in full (the “**Master Easement**”). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to ACHD pursuant to Section 40-2302 Idaho Code. The Master Easement is for the operation

and maintenance of the storm water drainage system. Said easement shall remain free of all encroachments and obstructions (including fences and trees) which may adversely affect the operation and maintenance of the storm drainage facilities.

4.1. **ACHD Maintenance.** The Stormwater Facility O&M Manual may only be modified at the direction of the Board of the Association with written approval by ACHD. Notwithstanding the Association is obligated to maintain Lot 1 of Block 15 of the Common Area and facilities contained therein, it is hereby provided that Ada County Highway District (“ACHD”) shall have the right at all times to inspect the storm water drainage system, and may elect to perform and required maintenance and repairs of any part or facility of the Common Area should the Association fail to maintain Lot 1 of Block 15 of the Common Area. In the event that ACHD determines, in its sole reasonable discretion, that the Association is not adequately maintaining Lot 1 of Block 15 of the Common Area, ACHD shall, before undertaking maintenance of the Common Area, provide written notice of its intention to begin maintenance of the Common Area within a thirty (30) day period, within which time frame the Association may undertake to initiate and conclude all maintenance defects as identified by ACHD. In the event the Association shall fail to commence and conclude maintenance of the Common Area to the extent such items of specific maintenance are identified by ACHD within the prescribed thirty (30) days, then in such event, ACHD may begin to undertake maintenance of Lot 1 of Block 15 of the Common Area.

ACHD is hereby granted an irrevocable license to enter upon any portion of Lot 1 of Block 15 of the Common Area to perform inspection and maintenance of its drainage facilities. Should ACHD engage in maintenance of Lot 1 of Block 15 of the Common Area after having provided notice to the Association and having provided the Association an opportunity to undertake such maintenance, ACHD shall be entitled to and empowered to pursue reimbursement for the reasonable costs of all required maintenance and repairs to the storm water drainage system that are a result of failure by the Association to properly perform the light maintenance duties as defined in the Stormwater Facility O&M Manual. The prior written review and approval of ACHD is required to amend this section or amend the Stormwater Facility O&M Manual.

5. **ACHD License Agreement.** Developer, as “Licensee” has entered into a Temporary License Agreement dated May 2, 2022, and recorded on June 29, 2022 as Instrument No. 2022-059923, records of Ada County, Idaho (the “License”) with ACHD, which permits the Licensee to install certain landscaping improvements in ACHD’s right-of-way adjacent to or within the Subdivision, subject to the terms and conditions stated therein. Among other requirements, the License requires the Licensee to maintain all improvements placed in the right-of-way, to remove, relocate and/or modify the improvements if ACHD so requires, and to hold harmless and defend ACHD against all claims arising out of Licensee’s use of the right-of-way or its failure to comply with the terms of this License. Grantor hereby assigns to the Association of all Grantor’s rights, duties and obligations in this Section 5, and the Association shall assume and perform all such rights, duties and obligations from and after the date this Fourth Amendment is recorded in the office of the Ada County Recorder. In furtherance of the foregoing, the Association shall in all ways cooperate with Grantor and execute, acknowledge and deliver any and all such further documents and instruments and do and perform any and all other acts as may be necessary to effect and carry out the said assignment and assumption, including without limitation, executing any documents and instruments required by ACHD for such purposes.

6. **No Additional Changes.** Except as amended by this Fourth Amendment, the Declaration shall remain unchanged and in full force and effect.

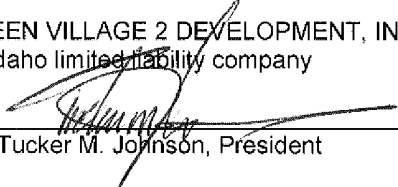
7. **Effect of Amendment.** This Fourth Amendment shall be binding upon and inure to the benefit of Grantor, Developers, all Owners of a Building Lot, and their successors and assigns. If there is any conflict between the terms of this Fourth Amendment and the Declaration, this Fourth Amendment shall control.

[remainder of page is intentionally blank—signature page follows]

IN WITNESS WHEREOF, the undersigned has caused this Fourth Amendment to Declaration of Covenants, Conditions, Restrictions and Easements for Greiners Hope Springs Subdivision be duly executed the day and year first above written.

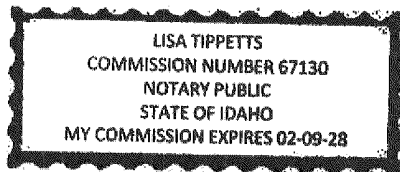
GRANTOR:

GREEN VILLAGE 2 DEVELOPMENT, INC.,
an Idaho limited liability company

By: 
Tucker M. Johnson, President

STATE OF Idaho)
County of Ada) ss.

This record was acknowledged before me on November 3, 2022 (date) by Tucker M. Johnson, the President of Green Village 2 Development, Inc.




Notary Public for Green Village 2 Dev
Residing at: Eagle
My Commission Expires: 2-9-28

DEVELOPER:

RICHMOND AMERICAN HOMES OF IDAHO, INC.,
a Colorado corporation

By: [Signature]
Name: RYAN ORTIN
Its: DIVISION PRESIDENT

STATE OF Idaho)
County of Canyon) ss.

This record was acknowledged before me on 11/3/22 (date) by
Ryan Ortin, the Division Pres. of Richmond American Homes of Idaho, Inc.

[Signature]
Notary Public for
Residing at: Idaho Co.
My Commission Expires: 11/11/24

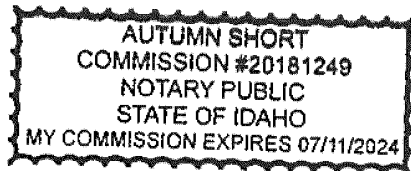
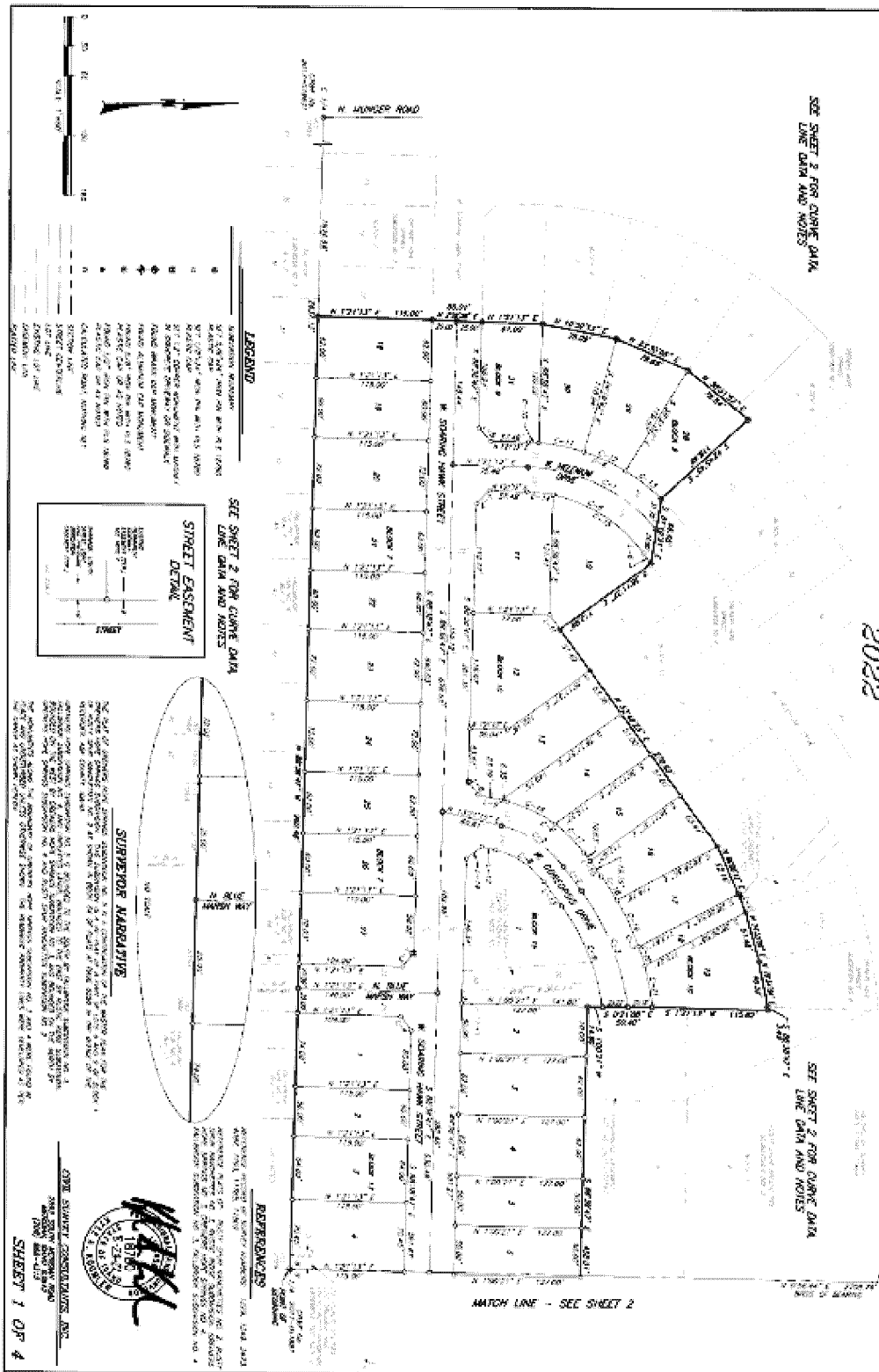


EXHIBIT A

Final Plat for Greiners Hope Springs Subdivision No. 5

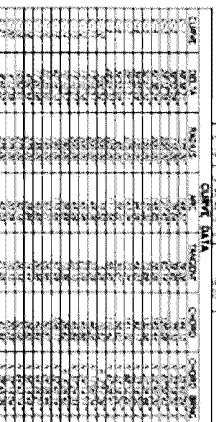
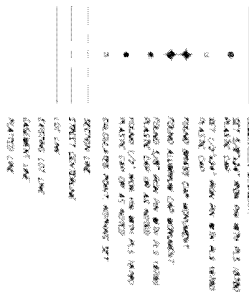
GREINERS HOPE SPRINGS SUBDIVISION NO. 5 LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 5, AND IN THE SE 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO, AND BEING A REPLAT OF A PART OF LOTS 6 AND 9 OF BLOCK 1 OF RUSTY SPUR RANCHETTES SUBDIVISION NO. 2 A DEVELOPMENT BY RICHMOND AMERICAN HOMES OF IDAHO, INC. 2022



6/21/2019 Page 18/200

2022

at NEW HAVEN, CT



LINE DATA

RECORDING

[illegible]

CH2M HILL CONSULTANTS, INC.
2000 SOUTH MICHIGAN AVENUE
ANN ARBOR, MI 48106-1515
TEL: (734) 966-4171

SECRET

SHEET 2 OF 4

OK To pay 1960

[illegible]

Fluvial (leading and meandering) boundary, and along and within boundary the following described channel

Reference is made to the application of 501.07 filed by a child support enforcement unit.

	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100						
1	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100

Phonon ω , $\hbar\omega \ll kT$, β is a measure of $\beta\hbar\omega$ due to a $\sqrt{2}/9$ cell diameter and just meeting the mobility criterion of 10^{10} cm²/Vs. ω is the

MEMORANDUM FOR THE RECORD: On August 19, 1967, at Washington, D.C., the following was discussed:

Submitted: April 4, 1994. Accepted for publication: April 11, 1994. Reprints: Dr. J. A. J. van't Hof-Grootenboer, Department of Pediatrics, University Hospital Groningen, P.O. Box 30.001, 3000 RB Groningen, The Netherlands (e-mail: j.a.j.van'thof@azg.azg.azg.nl).

Shewhart's $\bar{X}$ -R chart is a combination of a $\bar{X}$ -chart and an R-chart. The $\bar{X}$ -chart monitors the process mean, and the R-chart monitors the process variability. The $\bar{X}$ -chart is a chart of the sample means, and the R-chart is a chart of the sample ranges. The $\bar{X}$ -chart is used to detect shifts in the process mean, and the R-chart is used to detect changes in the process variability. The $\bar{X}$ -chart is a chart of the sample means, and the R-chart is a chart of the sample ranges. The $\bar{X}$ -chart is used to detect shifts in the process mean, and the R-chart is used to detect changes in the process variability.

Showing 5,567.37 g of difference of 112.69 mm to a 5/8 inch diameter that put

Received 14 April 1993; in final form 15 July 1993

Remains of *Strophomena* found to a depth of 1000 feet.

Remains of *Paralichthys* cf. *o. ocellatus* at 51 m, found in a 4.75 inch diameter core jar.

1. The first step is to identify the problem. This involves understanding the current situation and the desired outcome.

These results are extremely desirable. It is not surprising that the results are so good, for a 5/8 inch diameter hole will

for any other reason than the fact that the person is a member of the same family as the person who is the subject of the investigation.

Shoreline is 1,000' at a distance of 1.603 from the 1/2 mile point distance from jet.

*Thickness 3.00" (30.48 mm) & difference in length from No. 1 3/8" (34.93 mm) shorter than part

And your research was 80% in the area of "the effects of stress on the immune system," is that right?

ADDITIONAL INFORMATION on program in Book 111 of Acts of August 1822 - 1823 in most offices of the Department:

and Lot 2. and point being on the southern boundary of said SW 1/4 of the NW 1/4.

These research conclusions are also consistent with the findings of other studies that have shown that the use of a structured interview format is more effective than an unstructured format in identifying potential biases and errors in the data collection process.

As the sole U.S. manufacturer of this medication, we are eligible to receive orphan status as provided under Public Law 94-453 (PL 94-453), and have either the National Orphan Drug Association and letterhead for their company and the Farmers Union Ortho Company and are subject to assessments for said action.

Company and are subject to assessment for such risks.

Editorial: The Star-Spanglers and their District are agreed it is wrong to name of the kids in this subdivision.

The public library system in this pilot area heavily dedicated to the public. Auden, with, "irregular and strange" materials in the area and dedicated to the public but the credit of access to and use of these materials is

heavily insulated horizontal structural and drainage and any other purposes as may be designated (section 10) no permanent structures other than for road works are to be erected within the limits of road easements.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS 3 DAY OF FEB, 2022

REGISTERED AMERICAN MORTGAGE OF 1934, INC.

By John Edgar Hoover, Director

[illegible]

AT COMMISSION EXHIBIT Feb 13, 2024

RESIDING AT ADA County

notary present for the state of Iowa



CIVIL SURVEY CONSULTANTS, INC.
7501 KENTWOOD AVENUE
ANN ARBOR, MICHIGAN 48106
(313) 668-4377

GREINERS HOPE SPRINGS SUBDIVISION NO. 5

DECEMBER 13, 2022

CERTIFICATE OF SURVEYOR

I, AILEA A. KOSMELIS DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF OHIO, AND THAT THIS PLAT AS DESCRIBED IN THE CERTIFICATE OF COMPLETION WAS DRAWN FROM THE FIELD NOTES OF A SURVEY MADE ON THE LANDS DESCRIBED HEREIN, AND THAT THE SAME ARE TRUE AND CORRECT, AND THAT THE PLAT IS IN CONFORMANCE WITH THE STATE OF OHIO CODE RELATIVE TO PLATS AND SURVEYS.

FILE A COMPLETION
CAND NO. 16780



APPROVAL OF THE CITY ENGINEER

I, THE UNDERSIGNED CITY ENGINEER IN AND FOR THE CITY OF STATE, OHIO COUNTY, OHIO, DO HEREBY APPROVE THIS PLAT OF COMPLETION, BEING SUBDIVISION NO. 5.

John J. Smith
CITY ENGINEER - STATE OF OHIO

CERTIFICATE OF THE COUNTY SURVEYOR

I, THE UNDERSIGNED PROFESSIONAL LAND SURVEYOR IN AND FOR OHIO COUNTY, OHIO, DO HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE OFFICE OF THE COUNTY ENGINEER IN AND FOR THE CITY OF STATE, OHIO, AND THAT IT COMPLETES WITH THE STATE OF OHIO CODE RELATIVE TO PLATS AND SURVEYS.



DATE 9-19-2022
AILEA A. KOSMELIS
OHIO COUNTY SURVEYOR

CERTIFICATE OF COUNTY RECORDER

STATE OF OHIO
COUNTY OF OHIO
I, THE UNDERSIGNED COUNTY RECORDER, DO HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE OFFICE OF THE COUNTY ENGINEER IN AND FOR THE CITY OF STATE, OHIO, AND THAT IT COMPLETES WITH THE STATE OF OHIO CODE RELATIVE TO PLATS AND SURVEYS.

DATE 9-19-2022
AILEA A. KOSMELIS
OHIO COUNTY RECORDER

BOOK 124, PAGE 16780, 16781
INSTRUMENT NO. 2022-080122

HEALTH CERTIFICATE

SANITARY INSPECTION OF RECORDS BY OHIO CODE TITLE 361, CHAPTER 1, HAVE BEEN MADE BY THE HEALTH DEPARTMENT OF THE CITY OF STATE, OHIO, AND THE RESULTS OF THE INSPECTION ARE AS FOLLOWS: THE COMMISSIONERS OF HEALTH, SANITARY INSPECTIONS HAVE BEEN MADE IN ACCORDANCE WITH SECTION 361-1201, OHIO CODE, BY THE ISSUANCE OF ORDINANCE.

DATE 2-9-2022
CITY OF STATE, OHIO
HEALTH DEPARTMENT



ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ACCEPTANCE

THE FINEST COPY OF THIS PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE 15th DAY OF SEPTEMBER, 2022.



DATE 9-19-2022
ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS

APPROVAL OF CITY COUNCIL

I, THE UNDERSIGNED CITY CLERK IN AND FOR THE CITY OF STATE, OHIO COUNTY, OHIO, DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE CITY COUNCIL HELD ON SEPTEMBER 15, 2022, THIS PLAT WAS APPROVED AND ACCEPTED.



DATE 9-19-2022
CITY CLERK

CERTIFICATE OF THE COUNTY TREASURER

I, THE UNDERSIGNED COUNTY TREASURER IN AND FOR THE COUNTY OF OHIO, STATE OF OHIO, DO HEREBY CERTIFY THAT THE COMMISSIONERS OF HEALTH, SANITARY INSPECTIONS HAVE BEEN MADE IN ACCORDANCE WITH SECTION 361-1201, OHIO CODE, BY THE ISSUANCE OF ORDINANCE.

DATE 9-20-2022
Elizabeth M. Mott
COUNTY TREASURER
Signed by Elizabeth M. Mott



EXHIBIT B

Stormwater Facility O&M Manual

STORM WATER OPERATIONS AND MAINTENANCE MANUAL

For

GREINERS HOPE SPRINGS SUBDIVISION

Revised March 25, 2022

Prepared for

**Green Village 2 Development, Inc.
Box 372
Eagle, Idaho 83616**

And

**Richmond American Homes – Boise
1804 N Midland Blvd
Nampa, ID 83651**

Prepared by

**Civil Survey Consultants, Inc
2893 S. Meridian Road
Meridian, Idaho 83642**

**STORM WATER OPERATIONS AND MAINTENANCE MANUAL
FOR
GREINERS HOPE SPRINGS SUBDIVISION**

Table of Contents

Narrative

Storm Water System Description	1.
Maintenance	1.
Combination Detention Pond/Park Facilities	2.
Maintenance Cost Estimate	2.

Appendix

Appendix A	- Storm Drainage Master Plan Map
Appendix B	- Facilities Design Plans (reduced)
Appendix C	- Final Plats and Easements (reduced)

STORM WATER OPERATIONS AND MAINTENANCE MANUAL

FOR

GREINERS HOPE SPRINGS SUBDIVISION

STORM WATER SYSTEM DESCRIPTION

Greiners Hope Springs Subdivision is a ±62-acre subdivision located in northwest Star on the south side of New Hope Road just East of Munger Road. Storm water runoff from the subdivision is managed via multiple drainage facilities within the project. Some of the drainage facilities are underground seepage beds and others include pairing of above ground storage with underground seepage beds. This manual primarily addresses maintenance of the above ground facilities.

In a significant storm event, storm water runoff will initially concentrate on lots and in roads, then flow in the roadway gutters into storm water inlets. Storm drain piping then transports the runoff below ground to drainage facilities. Pipes are typically sized to carry the 100-year recurrence interval storm event though in some circumstances where topography allows, pipe are sized for 25-year storm events with the balance of the storm transported in the roadway gutters.

Storm water runoff is managed through a mixture of above ground detention and subsurface seepage bed facilities. The above ground detention facilities will typically double as usable open space parks for the residents of the subdivision. During large storm events, the park basins will detain much of the storm water for up to several hours. During and after storm events, water will pass into seepage beds within the park and infiltrate into the ground.

MAINTENANCE

ADA COUNTY HIGHWAY DISTRICT

Storm Drain Manholes used in this subdivision are “Catch manholes”. They act to trap some sediments from the runoff. These manholes require periodic cleaning by the Ada County Highway District (ACHD).

Sediment/Skimmer Boxes (a.k.a. sand and grease traps) are typically installed just upstream of the detention basins and infiltration beds. These structures require periodic cleaning of grease and sediment. ACHD is responsible for this maintenance.

Drainage Inlets include one-foot sumps per ACHD’s current policy. Inlets require periodic cleaning by the ACHD. Additionally, they may require cleaning during the fall season when leaves are prone to clog the inlets. The ACHD is responsible for maintenance within the roadway and should be notified if inlets become clogged.

HOMEOWNERS ASSOCIATION

The **Detention Ponds** or park basins will be grass lined and will be dry except during storm events. The areas will require regular maintenance consisting of watering and cutting the grass during spring, summer and early fall months. This maintenance is the sole responsibility of the homeowners association. An automatic sprinkler system was installed when the subdivision was built and its maintenance is the responsibility of the homeowners association. The grass will require annual fertilization and will possibly require reseeding if it dies. These items are also the responsibility of the homeowners association. Dead grass is not acceptable in the operation of this storm water management system.

STORM WATER OPERATIONS AND MAINTENANCE MANUAL
FOR
GREINERS HOPE SPRINGS SUBDIVISION

COMBINATION DETENTION POND/PARKS

The primary purpose of all lots used for storm water detention basins is the storm water management function. Any additions to the facilities, such as park benches or additional landscaping, should be considered temporary and may be removed when heavy maintenance of the facilities is needed. Replacement of these items will be the responsibility of the homeowners association.

It is unlikely that heavy maintenance will be required. However, if it is, it will likely be for the replacement or repair of the pipes or the seepage beds. Therefore, it is recommended that no permanent structures or trees be placed near the pipes shown on the site map included in this manual.

MAINTENANCE ESTIMATES

BASIN A - lot 8 of block 8 (Phase 2)

Pond Area: 14,500 SF

Items	Recurrence	Approx. Unit Cost*	Approx. Total Annual Cost*
Mow Grass	Weekly	\$100	\$2,800
Fertilize	Semi-annually	\$100	\$200
Sprinkler System			
Winterize (fall)	Annually	\$50	\$50
Initialize (spring)	Annually	\$50	\$50
Maintenance/Repair	As required	\$200	\$200
Total			\$3,300

BASIN B - lot 9 of block 6 (Phase 2)

Pond Area: 7,500 SF

Items	Recurrence	Approx. Unit Cost*	Approx. Total Annual Cost*
Mow Grass	Weekly	\$75	\$2,100
Fertilize	Semi-annually	\$75	\$150
Sprinkler System			
Winterize (fall)	Annually	\$50	\$50
Initialize (spring)	Annually	\$50	\$50
Maintenance/Repair	As required	\$150	\$150
Total			\$2,500

BASIN E - lot 11 of block 7 (Phase 3)**Pond Area: 16,500 SF**

Items	Recurrence	Approx. Unit Cost*	Approx. Total Annual Cost*
Mow Grass	Weekly	\$100	\$2,800
Fertilize	Semi-annually	\$100	\$200
Sprinkler System			
Winterize (fall)	Annually	\$50	\$50
Initialize (spring)	Annually	\$50	\$50
Maintenance/Repair	As required	\$200	\$200
Total			\$3,300

BASIN F - lot 11 of block 7 (Phase 5)**Pond Area: 9,400 SF**

Items	Recurrence	Approx. Unit Cost*	Approx. Total Annual Cost*
Mow Grass	Weekly	\$75	\$2,100
Fertilize	Semi-annually	\$75	\$150
Sprinkler System			
Winterize (fall)	Annually	\$50	\$50
Initialize (spring)	Annually	\$50	\$50
Maintenance/Repair	As required	\$150	\$150
Total			\$2,500

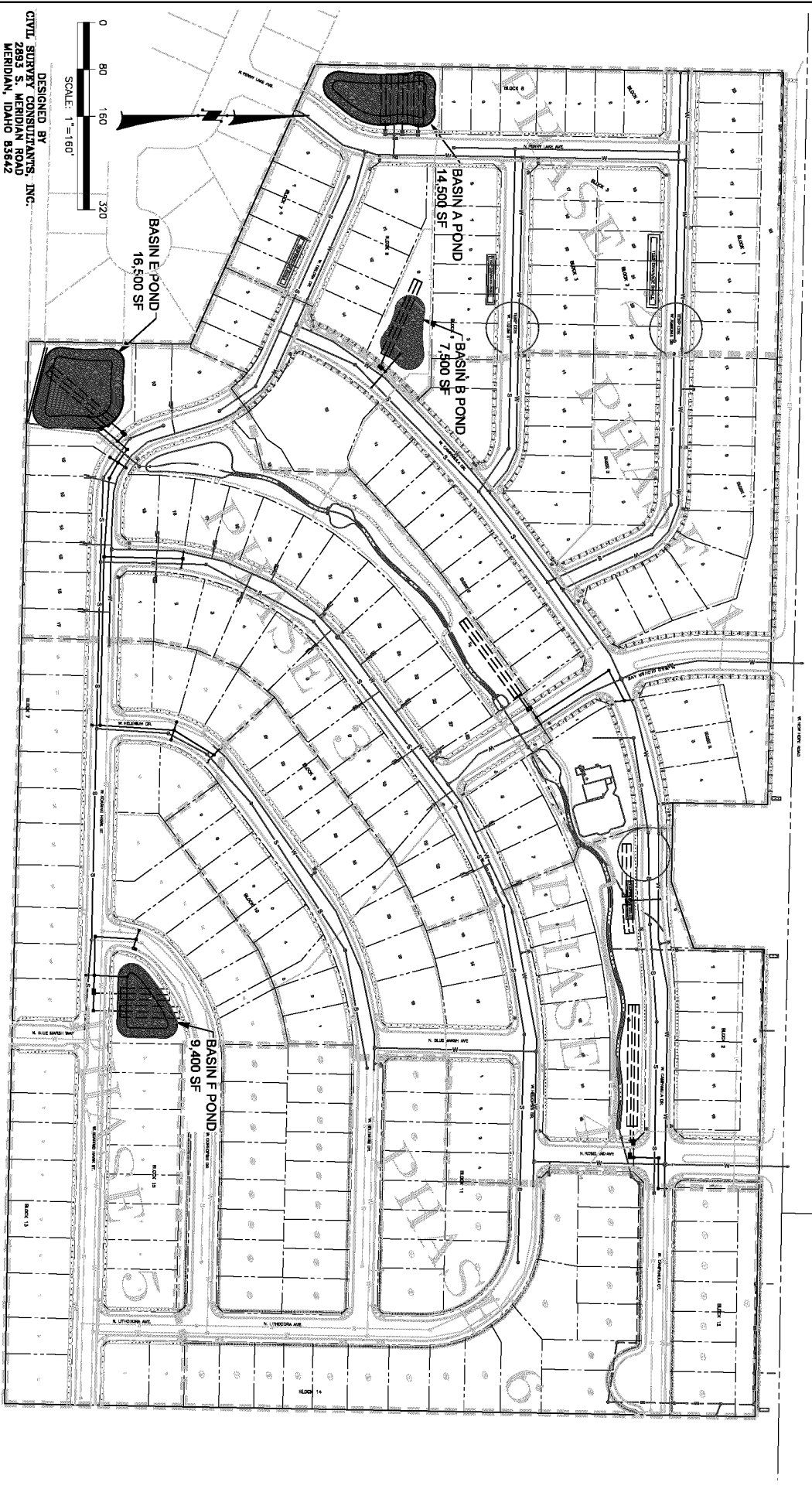
TOTAL ESTIMATED ANNUAL MAINTENANCE COST**\$11,600**

* Note: This is an estimate to do the minimum work required to maintain the storm water facilities.
Actual bids may vary.

Appendix A

Storm Drainage Pond Location Map (Overlay on Preliminary Plat)

Revised 3/15/2022



DESIGNED BY
CIVIL SURVEY CONSULTANTS, INC.
2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642

Appendix B

Facilities Design Plans

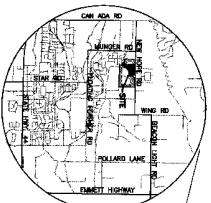
**A DEVELOPMENT BY
GREEN VILLAGE 2 DEVELOPMENT, INC.**

PO BOX 372
EAGLE, IDAHO 83616
CONTACT: TUCKER JOHNSON
TJ@skylineid.com
(208) 377-4104

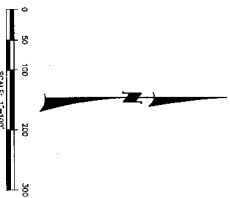
PLANS & SPECIFICATIONS REVIEW

These plans and/or specifications have been reviewed for compliance with the San Sewer & Water District standards. This review does not relieve the owner, the owner's representatives, the owner's engineer, and the contractor of their responsibility to design and construct these facilities in compliance with all current applicable District, federal, state and local laws, rules, regulations, or ordinances.

By: James J. [Signature] Date: 3/10/20

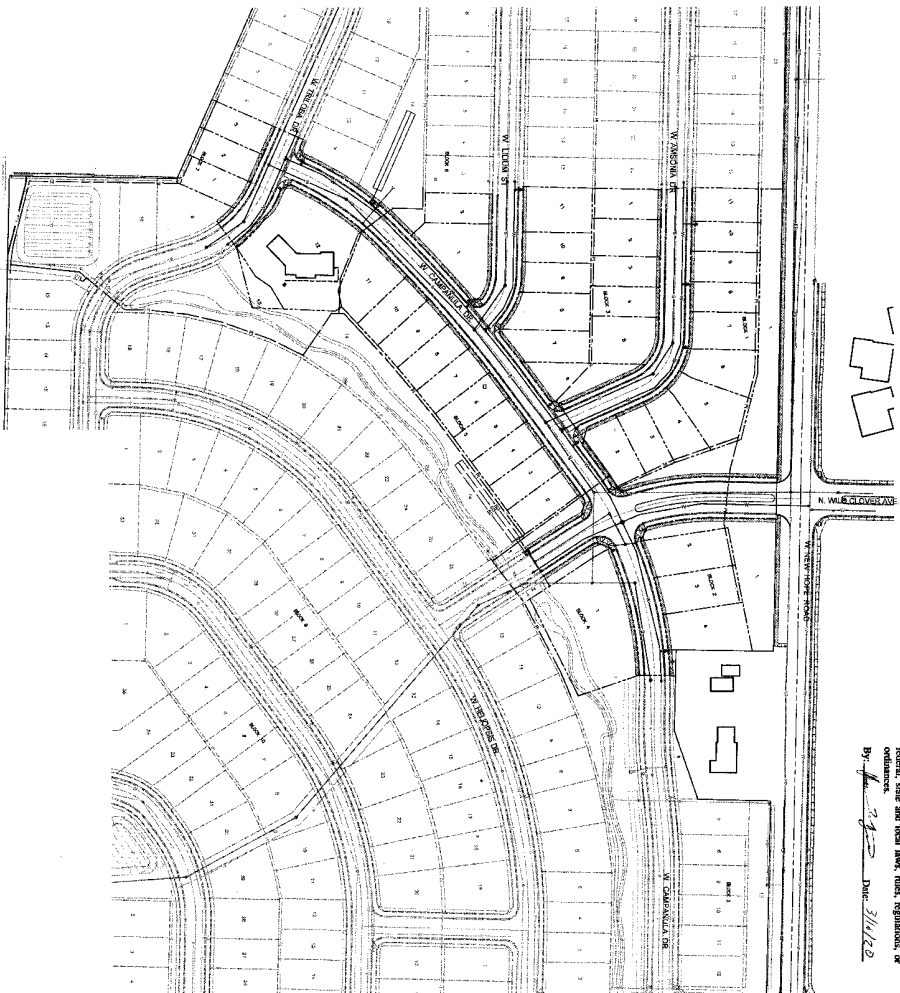


LOCATION MAP



LEGEND

- | | |
|--|-----------------------------------|
| | CONTINGENT |
| | LOT LINE |
| | NEW UTILITY LINE ON PIPE |
| | NEW CATCH, SWALE OR VALLEY GUTTER |
| | EXISTING UTILITY LINE |
| | BENCH MARK |
| | VALVE OR METER |
| | FIRE HYDRANT |
| | WATER BLOW-OFF |
| | STREET CLEANOUT |
| | WATER METER |
| | EXISTING UTILITY POLE |
| | EXISTING JUNCTION BOX |
| | NEW JUNCTION BOX |
| | NEW STREET LIGHT |
| | MANHOLE |
| | STORM DRAIN INLET |
| | SEWER BOX |
| | STORM BOX |
| | NEW VENTILATION BOX |
| | NEW VERTICAL CURVE & GUTTER |
| | NEW ROLLED CURB & GUTTER |
| | NEW CONCRETE SIDEWALK |
| | NEW CONCRETE PEDESTRIAN RAMP |



SHEET INDEX

1. TITLE SHEET
 2. PROJECT NOTES
 3. ROADWAY DETAILS / MASTER NOTES
 4. DRAIN PLAN
 5. GRADING PLAN
 6. ROADWAY PLANS - W. NEW HAVEN ROAD
 7. ROADWAY PLANS - N. MID CLOVER AVE
 8. ROADWAY PLANS - W. CAMPANULA DRIVE
 9. ROADWAY PLANS - W. CAMPANULA DRIVE
 10. ROADWAY PLANS - W. CAMPANULA DRIVE
 11. ROADWAY PLANS - W. LULLA STREET
 12. ROADWAY PLANS - W. LULLA STREET
 13. DRAINAGE DETAILS - DRAINAGE BASIN ____
 14. DRAINAGE DETAILS - DRAINAGE BASIN ____
 15. WATER/SEWER PLANS - DINE 'A' - W. CAMPANULA DRIVE
 16. WATER/SEWER PLANS - DINE 'A' - W. CAMPANULA DRIVE
 17. WATER/SEWER PLANS - DINE 'B' - W. WASSON DRIVE
 18. WATER/SEWER PLANS - DINE 'C' - W. LULLA STREET
 19. WATER/SEWER PLANS - DINE 'D' - W. TULLOCH DRIVE
 20. WATER/SEWER PLANS - DINE 'E' - W. CAMPANULA DRIVE
 21. WATER/SEWER PLANS - DRAINAGE - N. MID CLOVER AVE
 22. PRESSURE REINFORCED PUMP STATION LAYOUT / DELTAIRY
 23. PRESSURE REINFORCED PUMP STATION PLAN DETAILS
 24. PRESSURE REINFORCED DISTRIBUTION PLAN
 25. STREET LIGHT PLAN
 26. SIGNAGE & STRIPING PLAN
- FINAL PLAN

BENCHMARKS

TH-11	6'7" / 180 LB / W / CAP - NEW HIRE RD 73-04-03, ON CL. DOB = 2002-11
TH-12	ORIEDD JOE IN BACK OF SODALUK, NEW HIRE RD 73-03, 33 LT DOB = 2000-72
TH-13	ORIEDD JOE IN CONC. DRIVEWAY, CAMPANULA DR. 11-11, 46" FT DOB = 2001-15
TH-21	ORIEDD JOE IN BACK OF SODALUK, PERRY LAKE AVE 20-03, 18" FT DOB = 2008-12

DATE: WED 03

Plans Are Accepted For Public Street Construction

CALL DGLINE
48 HOURS PRIOR TO EXCAVATION
PHONE 1-800-342-1585
TO REQUEST U.C. LOCATIONS

By accepting and signing the improvement plans, the Registered Engineer certifies the District that the plans conform to all District policies and standards. Variations or waivers must be specifically and previously approved by the District in writing. Acceptance of the improvement plans by the District does not relieve the Registered Engineer of their responsibilities.

Michael Moore

 DISTRICT ENGINEER

DATE: 3-16-02

REVISIONS			PROJECT NO.
NO.	ITEM	DATE	18048/Phs1
1.	Revisions per ACHD review comments	1/17/20	DESIGNED
2.	Revisions per Keller/Clity of Skar comments	1/28/20	JRM
3.	Revisions per Keller/Clity of Skar comments	3/08/20	DRAWN
			JRM/JKK
			CHECKED
			APPROVED



CIVIL SURVEY CONSULTANTS, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS

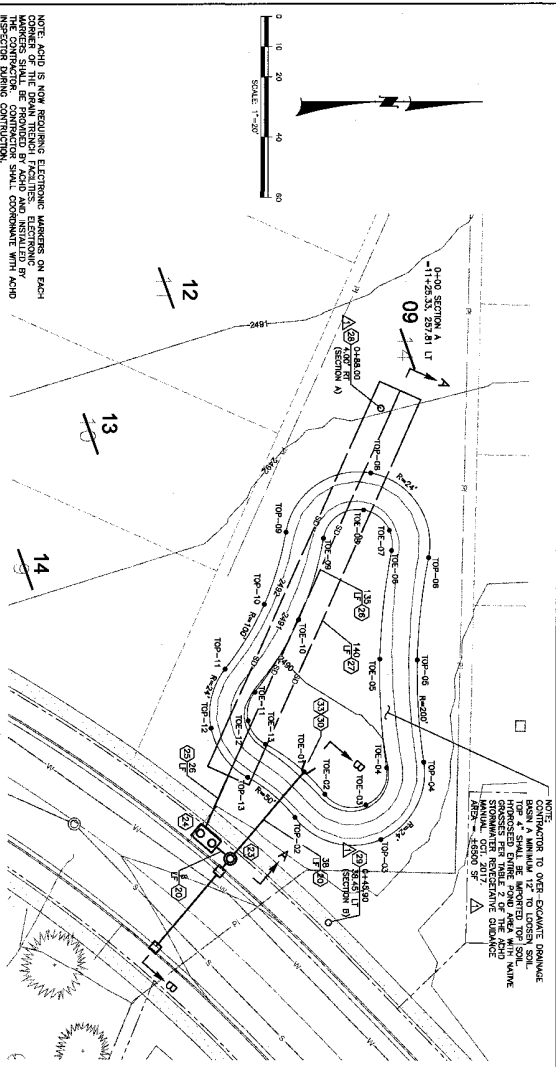
2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312
Fax 888-0323
email: jmoney@clivisurvey.net

GREINERS HOPE SPRINGS SUB. No. 1

CONSTRUCTION PLANS

TITLE SHEET

SHEET 1 OF 26



NOTE: CONTRACTOR TO OVER EXCAVATE DRAINAGE BASIN A MINIMUM 12" TO LOSS OF SOIL TO EXISTING GROUND SURFACE. EXCAVATION SHALL BE BACKFILLED WITH 12" MINIMUM STORMWATER PENETRATIVE DRAINAGE AGGREGATE.

POINT	STATION	DEPTH	FINISH	GRADE
09-01	2+00.00	1.00	2488.00	2488.00
09-02	2+00.00	1.00	2488.00	2488.00
09-03	2+00.00	1.00	2488.00	2488.00
09-04	2+00.00	1.00	2488.00	2488.00
09-05	2+00.00	1.00	2488.00	2488.00
09-06	2+00.00	1.00	2488.00	2488.00
09-07	2+00.00	1.00	2488.00	2488.00
09-08	2+00.00	1.00	2488.00	2488.00
09-09	2+00.00	1.00	2488.00	2488.00
09-10	2+00.00	1.00	2488.00	2488.00
09-11	2+00.00	1.00	2488.00	2488.00
09-12	2+00.00	1.00	2488.00	2488.00
09-13	2+00.00	1.00	2488.00	2488.00
09-14	2+00.00	1.00	2488.00	2488.00
09-15	2+00.00	1.00	2488.00	2488.00
09-16	2+00.00	1.00	2488.00	2488.00
09-17	2+00.00	1.00	2488.00	2488.00
09-18	2+00.00	1.00	2488.00	2488.00
09-19	2+00.00	1.00	2488.00	2488.00
09-20	2+00.00	1.00	2488.00	2488.00

KEYNOTES

1. 12" 30' S.D. STORM DRAIN PIPE
2. 12" 30' S.D. STORM DRAIN PIPE
3. 48" STORM DRAIN CATCH MANHOLE PER SPWC 30-811
4. 100' GULLY CATCHMENT BOX PER SPWC 30-824
5. 18" NON-PERFORATED CORRUGATED HDPE PIPE
6. 18" PERFORATED CORRUGATED HDPE PIPE, SEE DETAIL ON SHEET 14.
7. DRAIN TRENCH PER ACID BAY 20 AND DETAILS ON SHEET 14.
8. DRAIN TRENCH MONITORING WELL PER SP-627 OF THE ACID SUPPLEMENT TO THE 2017 SPWC.
9. SPWC AND DETAIL ON SHEET 14.
10. 12" PRECAST CONCRETE PIPE FLARED END WITH TRASH BASKET, MAJOR OR APPROVED EQUAL.
11. 12" PRECAST CONCRETE PIPE FLARED END WITH TRASH BASKET, MAJOR OR APPROVED EQUAL.

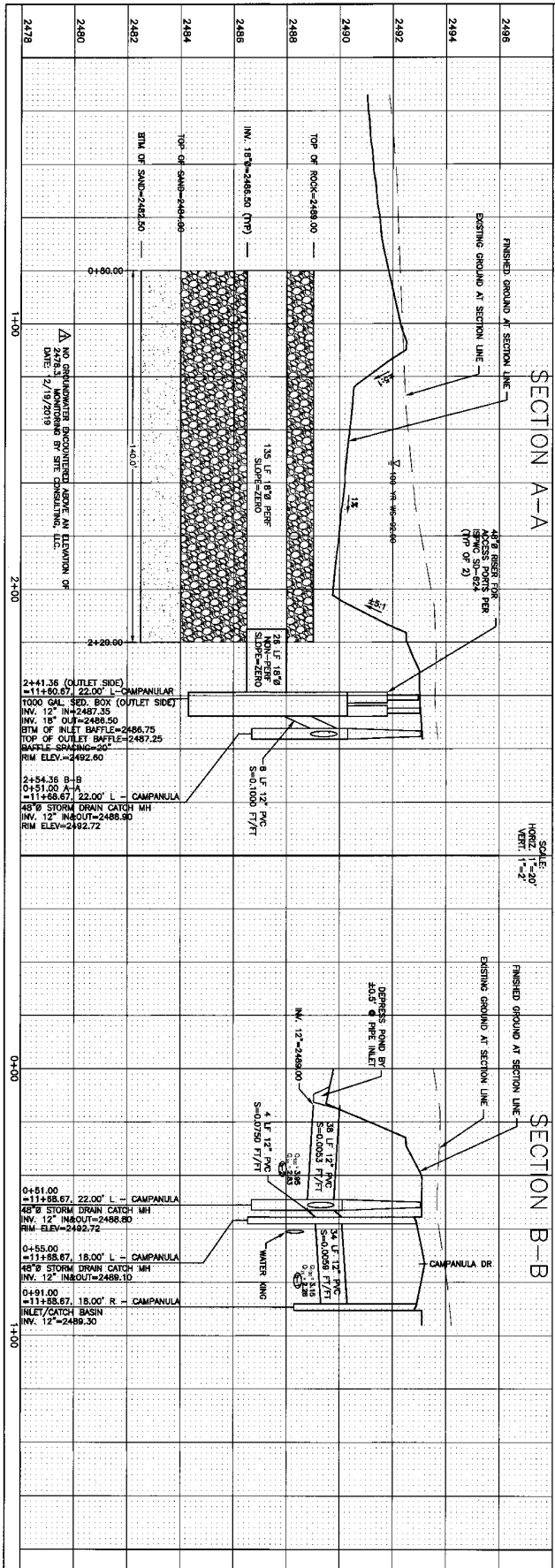
PIPE PERFORATION SCHEDULE

3/8" PERFORATIONS LOCATED IN WALLS OF DRAIN TRENCHES PER SP-627 OF THE ACID SUPPLEMENT TO THE 2017 SPWC.

Plans Are Accepted For Public Street Construction

By signing this plan, the undersigned hereby certifies that the information contained herein is true and correct to the best of their knowledge and belief, and that they are not aware of any facts or circumstances which might render the same misleading or deceptive.

DATE: 11/17/20
BY: JAMES R. MOORE, P.E.

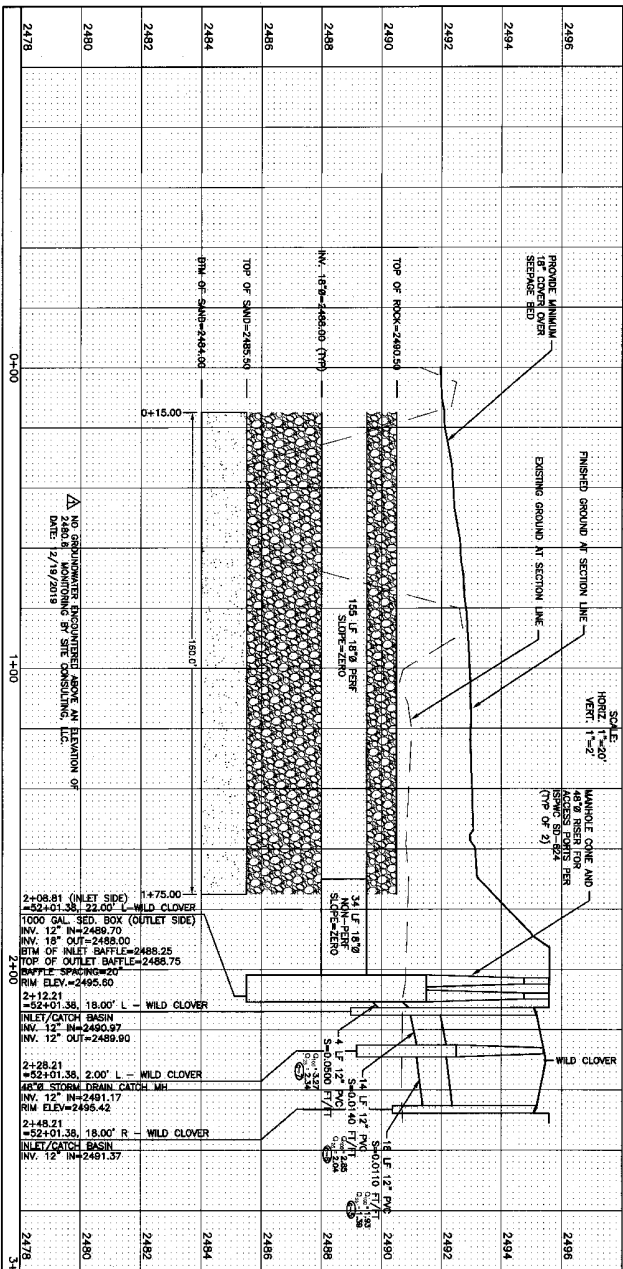
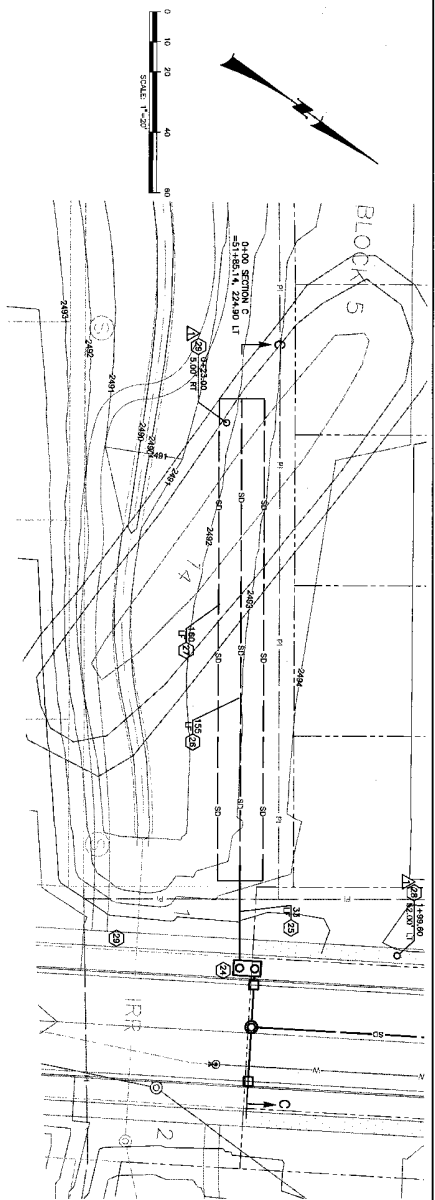


GREINERS HOPE SPRINGS SUB. No. 1
DRAINAGE PLAN & PROFILE
BASIN B DRAINAGE PLAN

CIVIL SURVEY CONSULTANTS, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS
2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 888-0325
Fax 888-0325
email: jmoney@civilsurvey.net

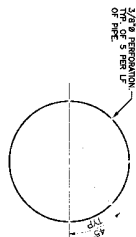
REVISIONS		PROJECT NO.	
NO.	ITEM	DATE	BY
1.	Revisions per ACID review comments	1/17/20	DESIGNED
2.	Revisions per Keller/City of Star comments	1/28/20	DRAWN
3.	Revisions per Keller/City of Star comments	2/05/20	CHECKED
			APPROVED





KEYNOTES

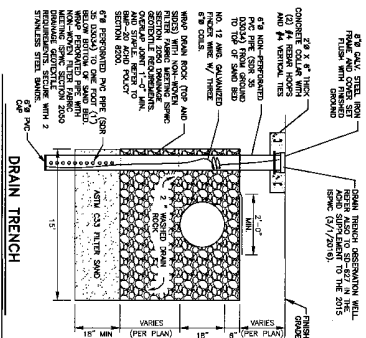
1. 1000 GALLON SEDIMENT BOX PER ISPC SD-624
2. 18\"/>



PIPE PERFORATION SCHEDULE

3/4\"/>

Plans Are Accepted For Public Street Construction



THE BOTTOM OF SAND ELEVATION SHOWN IS THE DESIGN EXCAVATION DEPTH. SLOPE AT DESIGN DEPTH SHOULD BE 3:1 MINIMUM. EXCAVATION CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION. CONTACT THE ENGINEER 48 HOURS BEFORE EXCAVATION. EXCAVATION SHALL BE ENCLOSURED IN ANY EXCAVATION WITHIN 3-Feet OF THE BOTTOM DESIGN FACILITY'S FULL EXCAVATED. CONTACT ACHD FOR INSPECTION PRIOR TO BACKFILL.

GREINERS HOPE SPRINGS SUB. No. 1	
DRAINAGE PLAN & PROFILE	
BASIN C DRAINAGE PLAN	
DATE: 02/05/2020	DRAWN BY: JPM
CHECKED BY: JPM	DESIGNED BY: JPM

CIVIL SURVEY CONSULTANTS, INC.	
CONSULTING ENGINEERS AND LAND SURVEYORS	
2893 S. MERIDIAN ROAD MERIDIAN, IDAHO 83642 (208) 888-4312 FAX: (208) 888-8888 email: jmoney@civilsurvey.net	

REVISIONS		PROJECT NO.	
NO.	DESCRIPTION	DATE	BY
1.	Revisions per ACHD review comments	1/17/20	DESIGNED
2.	Revisions per Kaller/City of Star comments	1/28/20	JPM
3.	Revisions per Kaller/City of Star comments	3/05/20	JPM
			CHECKED
			APPROVED



JULY 2020

PO BOX 372
EAGLE, IDAHO 83616
CONTACT: TUCKER JOHNSON
TJ@skyline-id.com
(208)377-4104

PLANS & SPECIFICATIONS REVIEW

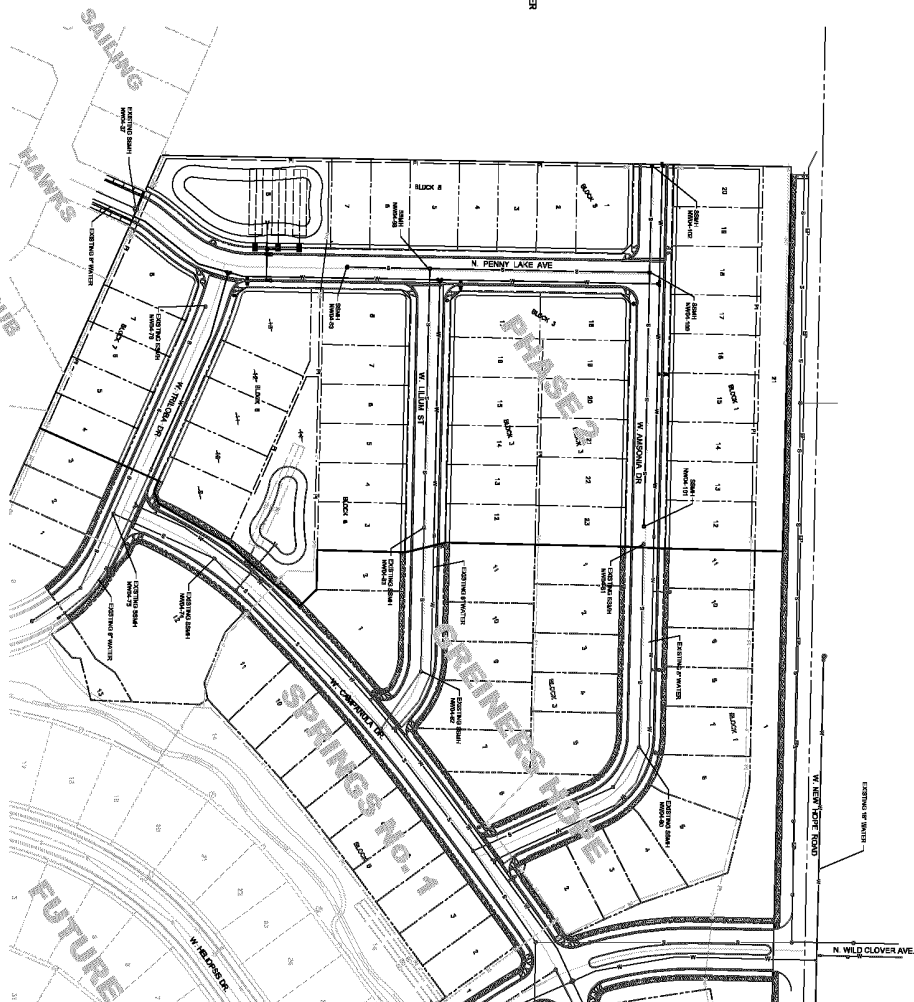
These plans and/or specifications have been reviewed for compliance with the State Street and Water District standards. This review does not relieve the owner, the owner's representatives, the owner's engineer, and the contractor of their responsibility to design and construct these facilities in compliance with all current applicable District, federal, state and local laws, rules, regulations, or ordinances.

By: John A. [Signature] Date: 11/6/20

By: [Signature] Date: 8/8/20



- | | |
|---|----------------------------------|
|  | CONCRETE |
|  | LOT LINE |
|  | S.D. |
|  | NEW UTILITY LINE ON PIPE |
|  | NEW CHOT, SMALL OR VALLEY CUTTER |
|  | EXISTING UTILITY LINE |
|  | BENCH MARK |
|  | WELL |
|  | WELL HEAD |
|  | WATER TIGHT |
|  | WATER TIGHT |
|  | SEWER CLEANOUT |
|  | WATER SERVICE |
|  | EXISTING UTILITY POLE |
|  | EXISTING JUNCTION BOX |
|  | NEW JUNCTION BOX |
|  | NEW STREET LIGHT |
|  | MANHOLE |
|  | STORM DRAIN INLET |
|  | SEWAGE BOX |
|  | NEW REDUCION BOX |
|  | NEW VENTIL. COIN. & GUTTER |
|  | NEW ROULETS COIN. & GUTTER |
|  | NEW CONCRETE SIDEWALK |
|  | NEW CONCRETE PAVEMENT |



SITE LAYOUT

SHEET INDEX

1. TITLE SHEET
2. PROJECT NOTES
3. SCHEDULE DETAILS/MASTER NOTES
4. GROUND PLAN
5. ROOMNOY PLANS - R, PENNY LAKE AVE.
6. ROOMNOY PLANS - M, ARSONA DRIVE
7. ROOMNOY PLANS - K, TULLAM STREET
8. ROOMNOY PLANS - W, TULLAM DRIVE
9. DRIVEWAY PLANS - GARAGE, DRIVE A
10. WARDEN/STATION PLANS - LINE "V" - K, TULLAM STREET
11. WARDEN/STATION PLANS - LINE "V" - R, PENNY LAKE
12. WARDEN/STATION PLANS - LINE "V" - M, ARSONA DRIVE
13. WARDEN/STATION PLANS - LINE "V" - W, TULLAM STREET
14. PRESERVE RELOCATION DISTRIBUTION PLAN
15. STREET LIGHT PLAN

BENCHMARKS

THM-11 6/27 800 NW 101/200 - NEW HPTD ON 70-00000, ON CL
ELEV. = 200.117
THM-21 CHISELED END IN BACK OF SERRANUS, PENNY LANE, MC 10-191, 10' LT
ELEV. = 200.001
THM-22 NW 101/200 ON FREE HWY, APPROX ON 30+07, 22' LT
ELEV. = 199.641
THM-23 NW 101/200 ON FREE HWY, LEARN ON 30+02, 22' LT
ELEV. = 200.250
DATE: 10/02/88

Plans Are Accepted For Public Street Construction

CALL DGLINE
48 HOURS PRIOR TO EXCAVATION
PHONE 1-800-342-1585
TO REQUEST U.G. LOCATIONS

SHEET 1 OF 1	DATE: 07/24/2008	GREINERS HOPE SPRINGS SUB. No. 2
	DRAWING: 0808-00111	CONSTRUCTION PLANS
	JOB NO.: 10004/PHASES	TITLE SHEET

CIVIL SURVEY CONSULTANTS, INC
CONSULTING ENGINEERS AND LAND SURVEYORS

2895 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)886-4312
Fax 888-0325
email: frank@cdlsurvey.net

REVISIONS			PROJECT NO.
NO.	ITEM	DATE	18046/Ph#2
1.	Revisions per ACHD comments	6/16/2020	DESIGNED
2.	Revisions per City of Star comments	6/26/2020	JRM
3.	Revisions per City of Star comments	7/20/2020	DRAWN
			JRM/DCH
			CHECKED
			CJP
			APPROVED

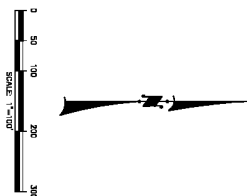


CONSTRUCTION PLANS

MARCH 2021

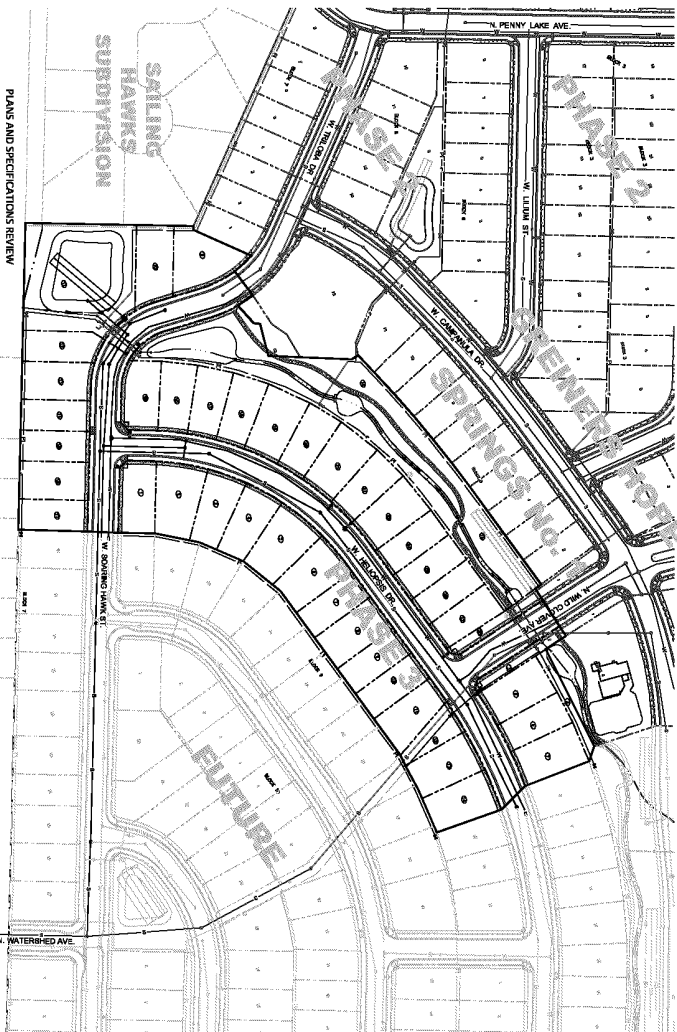
A DEVELOPMENT BY
GREEN VILLAGE 3 DEVELOPMENT, LLC

PO BOX 372
EAGLE, IDAHO 83616
CONTACT: TUCKER JOHNSON
TJ@skylined.com
(208)577-4104



LEGEND

- | | |
|------|------------------------------------|
| — | CONTROL LINE |
| --- | NEW UTILITY LINE OR PIPE |
| S.O. | NEW DITCH, SWALE OR VALLEY CUTTING |
| U | EXISTING UTILITY LINE |
| • | BENCH MARK |
| ● | WALL |
| ○ | PILE |
| ○ | PILE HEAD/NOT |
| ○ | WATER CATCH-OFF |
| ○ | SEWER CLEANOUT |
| u | EXISTING UTILITY POLE |
| u | EXISTING UTILITY POLE |
| □ | EXISTING JUNCTION BOX |
| □ | NEW JUNCTION BOX |
| □ | NEW STREET LIGHT |
| ● | MANHOLE |
| ● | STORM DRAIN INLET |
| □ | SEDIMENT BOX |
| □ | NEW VENTILATION BOX |
| □ | NEW REBAR, CARG & CUTTER |
| □ | NEW ROLLED CURB & GUTTER |
| □ | NEW CONCRETE SIDEWALK |
| □ | NEW CONCRETE PAVEMENT RAMP |



SITE LAYOUT

SCALE: 1"=100'

PLANS AND SPECIFICATIONS REVIEW

These plans and/or specifications have been reviewed for compliance with the Star Sewer & Water District standards. This review does not relieve the owner, the owner's representatives, the owner's engineer, and the contractor of the

CALL DIGLINE
48 HOURS PRIOR TO EXCAVATION
PHONE 1-800-342-1585

DATE: 4/12/2021
 BY: [Signature]
 KELLER ASSOCIATES, INC. • 208-288-1992

Plans Are Accepted For Public Street Construction

By accepting and signing the improvement plan, the Regent/Engineer certifies the District that the plans conform to all District policies and standards. Variations or waivers must be specifically and preciously approved by the District in writing. Acceptance of the improvement plan by the District does not relieve the Regent/Engineer of those responsibilities.

Michael Albers, DATE: 3/29/21
 ADM COORDINATOR, HENRIETTA DISTRICT

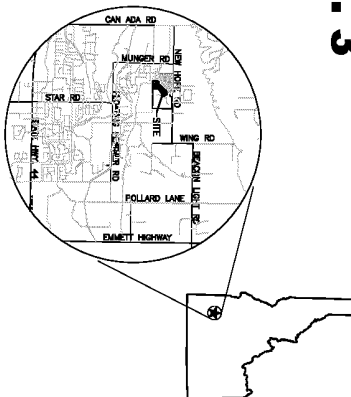
SHEET INDEX

1. TITLE SHEET
2. PROJECT NOTES
3. ROOMS/ DETAILS / WATER NOTES
4. DRAINING CONDITIONS / IDEO PLAN
5. GROUND PLAN
6. ROOMS/ PLANS - W. TILED FLR. / SQUARING HARK ST.
7. ROOMS/ PLANS - W. KILNDRSS DRNG
8. ROOMS/ PLANS - W. KILNDRSS DRNG
9. ROOMS/ PLANS - W. MILD CLGNS ANGLE
10. ROOMS/ PLANS - SHED - W. PIPE & SHED TATCH
11. ROOMS/ PLANS - SHED - W. SHED LAYOUT
12. SHEDS & WATER PLANS - LINE T. W. SQUARING HARK ST.
13. SHEDS & WATER PLANS - LINE T. W. SQUARING HARK ST. / TILED ON
14. SHEDS & WATER PLANS - LINE T. W. KILNDRSS DRNG
15. SHEDS & WATER PLANS - LINE T. W. KILNDRSS DRNG
16. SHEDS & WATER PLANS - W. MILD CLGNS ANG.
17. ISOLATION BLOCK - PLAN & ELEVATE
18. ISOLATION BLOCK - PLAN & ELEVATE
19. PRESSURE ISOLATION DISTRIBUTION PLAN
20. STREET LIGHT PLAN
21. OVERALL UTILITY LAYOUT

BENCHMARKS

TBM-3.1
 CHISELED BOX IN BACK OF CURB - TILLODA DR 74+60, 18' LT
 ELEV. = 2492.50
 TBM-3.2
 5/8" IRON PIPE W/ CAP - SPOILING MARK 75+44.21, 130' RT
 ELEV. = 2492.38
 TBM-3.3
 CHISELED BOX IN BACK OF CURB - WILD CLOVER 83+14, 18' RT
 ELEV. = 2495.61
 DATUM: NAVD 83

LOCATION MAP



REVISIONS			PROJECT NO.
NO.	ITEM	DATE	18044/Prin3
1.	Revisions per City of St. Louis comments	12/30/2020	DESIGNED
2.	Revisions per ACD comments	1/26/2021	JRM
3.	Revisions per City of St. Louis comments	3/06/2021	DRAWN
			JRM/LJP
			CHECKED
			QIP
			APPROVED



GREINERS HOPE SPRINGS SUB. No. 3

CONSTRUCTION PLANS

TITLE SHEET

CIVIL SURVEY CONSULTANTS, INC
CONSULTING ENGINEERS AND LAND SURVEYORS

2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312
Fax 888-0323
email: money@civilsurvey.net

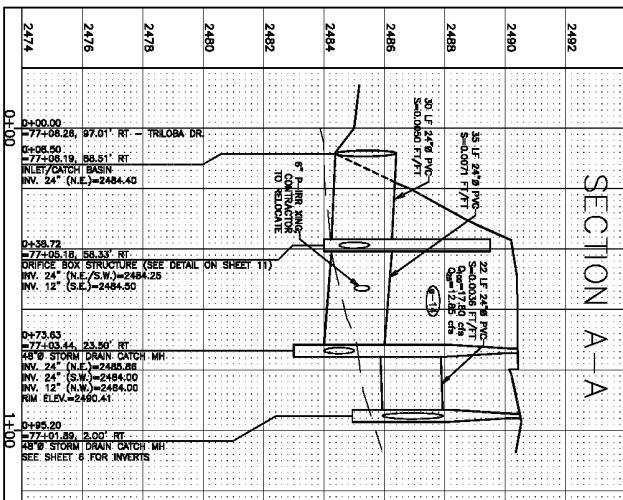
DATE: 03/28/2021
DRAWING: SHUTO-1-TITLE GHSS
JOB NO: 18048/PHASE 3
SHEET 1 OF 21

-

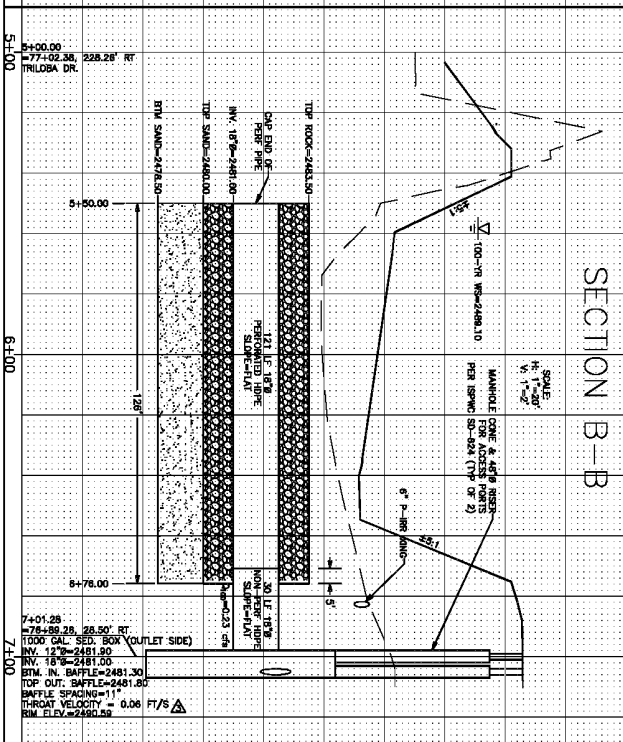
PIPE PERFORATION
SCHEDULE

3/8" PERFORATIONS LOCATED IN VALLEY OF CORRUGATED PIPE. PERFORATIONS SHALL BE IN TOP HALF OF PIPE ONLY. PERFORATIONS SHALL BE SPACED AT 1 ± 0.5 LONGITUDINALLY.

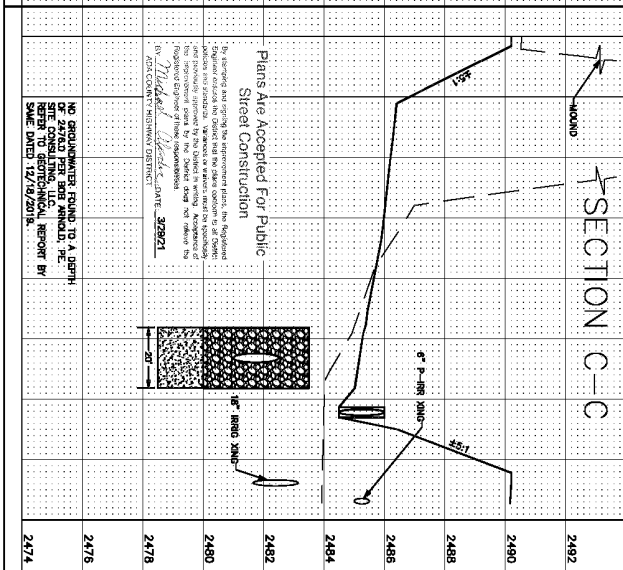
SECTION A-A



SECTION B-B

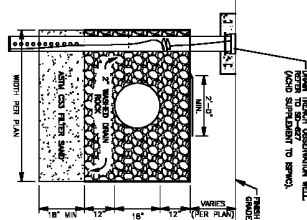


SECTION C-C



DRAIN TRENCH

DESIGN PERCOLATION RATE = 4 IN/HR.



NOTE: ACID STATE WASTE TREATMENT PLANT FACILITY IS SITUATED WITHIN 3 FEET OF BOTTOM DESIGN ELEVATION FOR ANY INFILTRATION FACILITY AND/OR IF IT IS HIGHER THAN ANTICIPATED.

Plans Are Accepted For Public Street Construction

By agreeing and signing the improvement plans, the Register-Examiner estimates the District has the other condition to get District's street work.

The District's work is to be done by the District's work. The District's work is to be done by the District's work. The District's work is to be done by the District's work.

Michael J. Dwyer DATE **3/28/21**

ADA COUNTY HIGHWAY DISTRICT

NO GROUNDWATER FOUND TO A DEPTH OF 2476.0 PER BOB ARNOLD, PE. SITE CONSULTING, LLC. REFER TO GEOTECHNICAL REPORT BY SAME. DATED 12/18/2019.

REVISIONS			PROJECT NO.
NO.	ITEM	DATE	
1.	Revisions per City of Stor/SRWG comments	12/30/2020	DESIGNED
2.	Revisions per AGHD comments	1/25/2021	JRM
3.	Revisions per City of Stor/SRWG comments	3/05/2021	ORIGIN
			JRM/LWP
			CHECKED
			DWP
			APPROVED

GREINERS HOPE SPRINGS SUB. No. 3

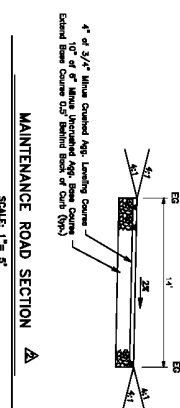
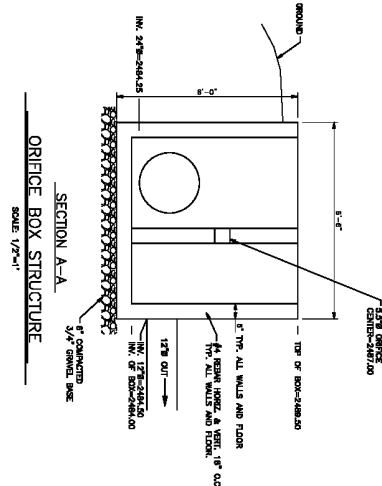
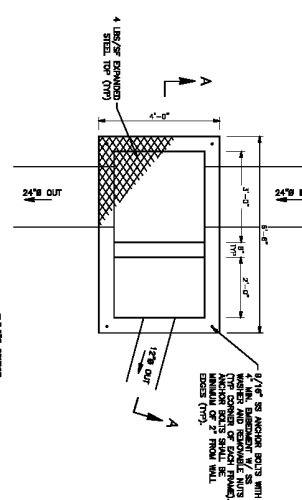
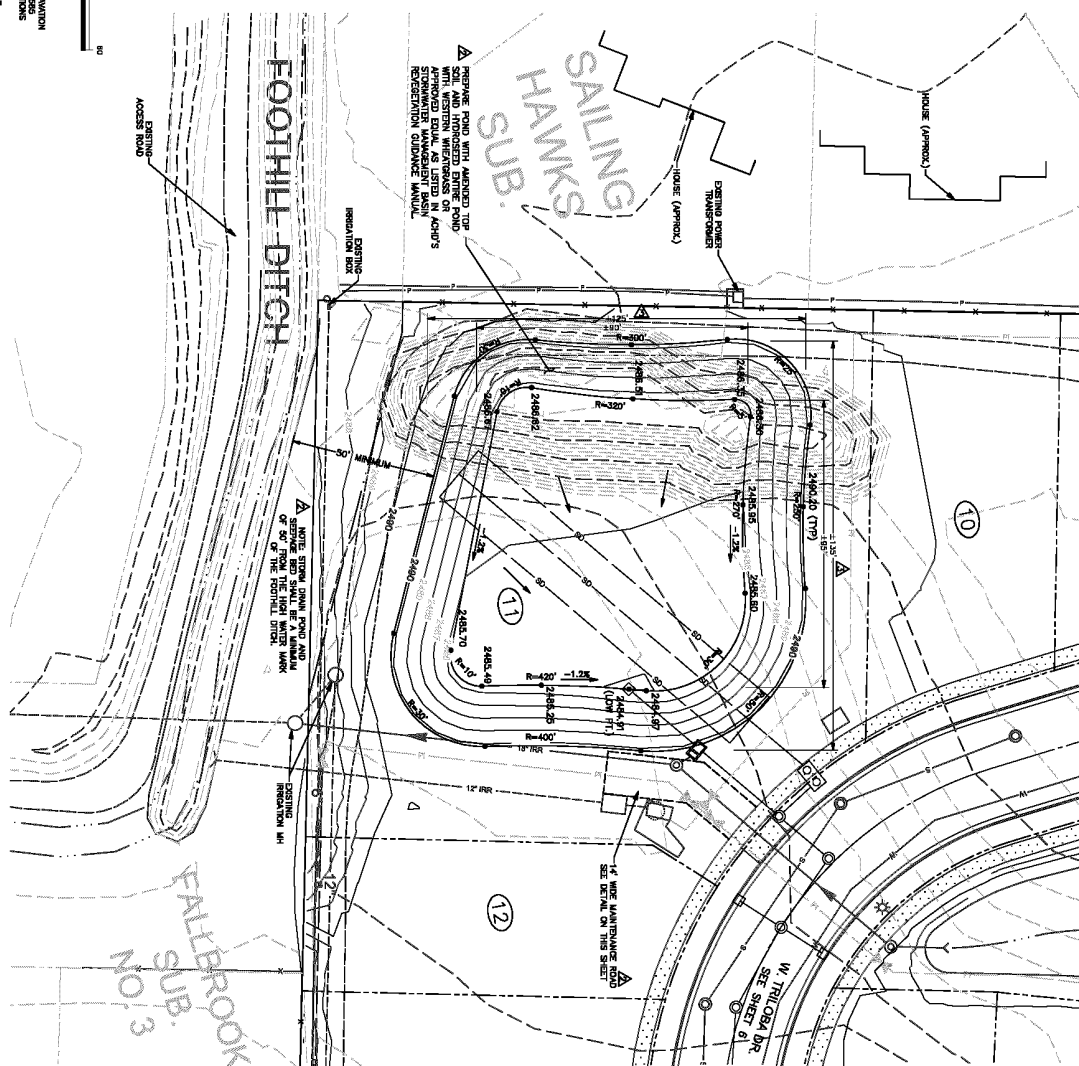
DRAINAGE PLANS

BASIN E - PIPE & DRAIN TRENCH

CIVIL SURVEY CONSULTANTS, INC
CONSULTING ENGINEERS AND LAND SURVEYORS

2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312
Fax 888-0323
email: jmoney@olvisurvey.com

SHEET 10 OF 21



Plans Are Accepted For Public Street Construction

By participating and helping the improvement plans, the Registered Engineer services the District that the plans conform to all relevant policies and regulations. Applications or requests must be accompanied by the necessary information and documents, including the proposed plans, and the necessary approvals from the District and the City. The plans must be approved by the District and the City before the City can issue a permit for the construction of the project.

Michael J. Macdonald, D.M.E., 3792921
 4255 SOUTH HIGHWAY DISTRICT

REVISIONS			PROJECT NO.
NO.	ITEM	DATE	18048/P/Ph3
1.	Revisions per City of Stor/S390 comments	12/30/2020	DESIGNED
2.	Revisions per AQHD comments	1/26/2021	JRM
3.	Revisions per City of Stor/S390 comments	3/05/2021	DRAWN
			JRM/LAP
			CHECKED
			CAP
			APPROVED



SHEET 11 OF 2	GREINERS HOPE SPRINGS SUB. No. 3
	DRAINAGE PLANS
	BASIN E - POND LAYOUT

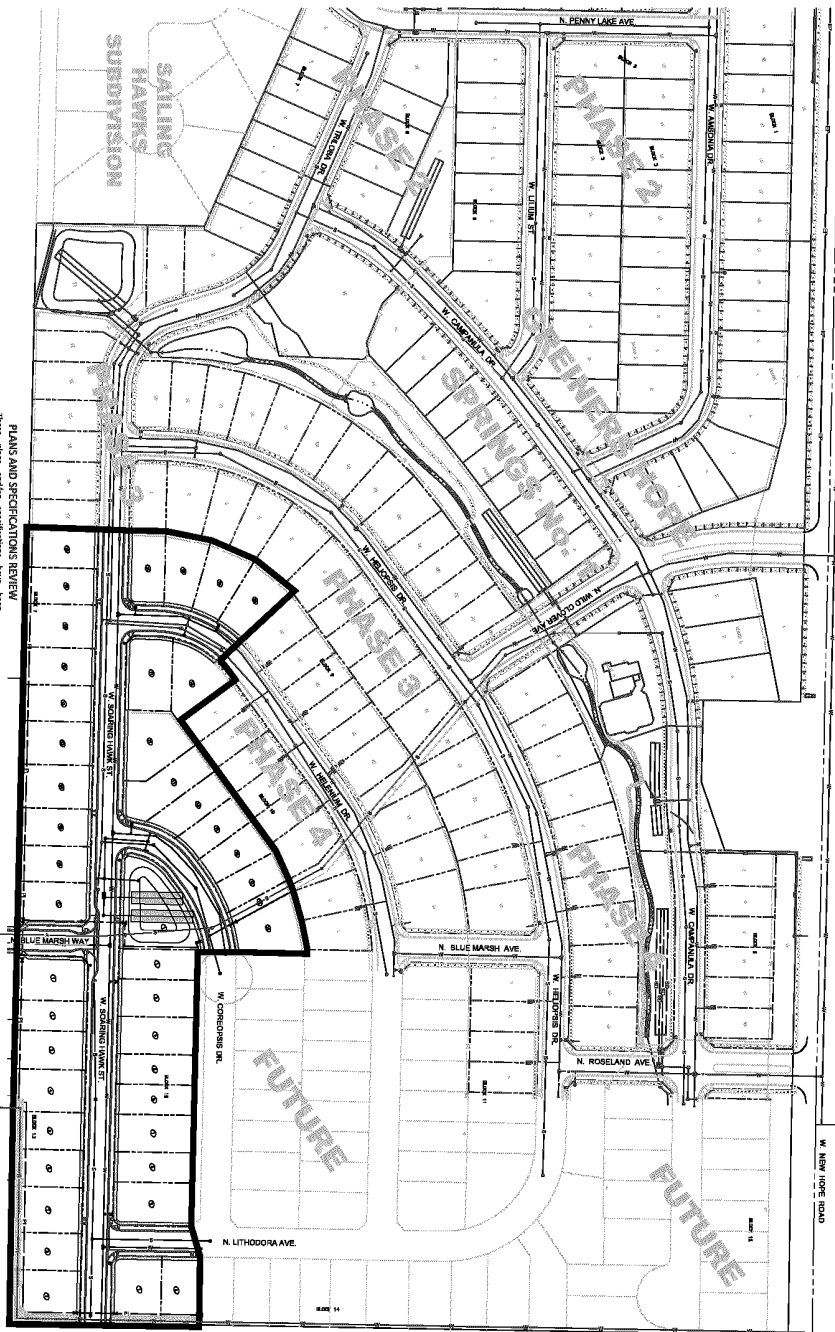
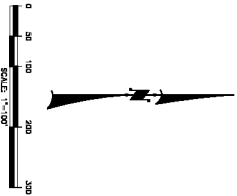
CIVIL SURVEY CONSULTANTS, INC
CONSULTING ENGINEERS AND LAND SURVEYORS

2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)868-4312
Fax 868-0323
email: msaner@volsurvey.net

NOVEMBER 2021

**A DEVELOPMENT BY
GREEN VILLAGE 2 DEVELOPMENT, INC.**

3/2 S, EAGLE RD., STE. 322
EAGLE, IDAHO 83616
CONTACT: TUCKER JOHNSON
TJ@skylineid.com
(208) 377-4104



BENCHMARKS

BENCHMARKS WILL BE LISTED WHEN PLACED
DATE: MAY 88

These plans and/or specifications have been reviewed for compliance with the Star Sewer & Water District standards. This review does not relieve the owner, the owner's representatives, the owner's engineer, and the contractor of the responsibility to design and construct these facilities in compliance with all current applicable District, federal, state, and local laws, rules, regulations, or

DATE: 12/9/2021
 BY: [Signature]
 FOR: [Signature]

SITE LAYOUT

SCALE: 1"=100'

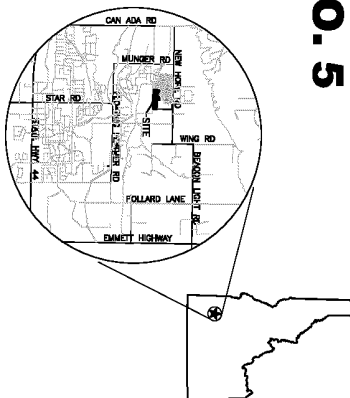
**CALL DGLINE
48 HOURS PRIOR TO EXCAVATION
PHONE 1-800-342-1585
TO REQUEST U.C. LOCATIONS**

Plans Are Accepted For Public Street Construction

Street Construction

By signing and signing the improvement plan, the Registered Engineer certifies that the plan conforms to all District Engineer's standards. Violations or omissions must be specifically noted and approved by the District Engineer. Acceptance of the improvement plan by the District Engineer certifies that the Registered Engineer is in good standing.

Michael Oberlander DATE: 1/20/2021
 ADA COUNTY BOARD DISTRICT:



LOCATION MAP

LEGEND

- | | |
|---|----------------------------|
|  | NEW CONCRETE FOOTING/PAV |
|  | NEW CONCRETE CURB & GUTTER |
|  | NEW DOUBLE SIDEWALK |
|  | NEW VERTICAL CURB & GUTTER |
|  | NEW RAISED CURB & GUTTER |
|  | NEW CURB |
|  | STORM DRAIN INLET |
|  | MANHOLE |
|  | NEW JUNCTION BOX |
|  | EXISTING UTILITY POLE |
|  | WATER SERVICE |
|  | SEWER CLEANOUT |
|  | FIRE HYDRANT |
|  | VALVE |
|  | BENCH MARK |
|  | EXISTING UTILITY LINE |
|  | LOT LINE |
|  | FIRE LINE |
|  | NEW DITCH |
|  | VALLEY DITCH |
|  | CENTERLINE |

SHEET INDEX

- [illegible]

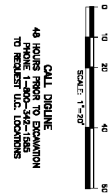
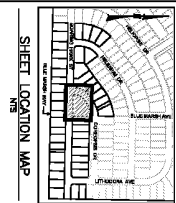
REVISIONS		PROJECT NO.
NO.	ITEM	DATE
1.	Revisions per City of St. Louis comments	10/4/2021
2.	Revisions per AGHD comments	11/1/2021
		DESIGNED
		JRM
		DRAWN
		JRM/LJP
		CHECKED
		CJP
		APPROVED



SHEET 1 OF 23 DRAWING: SPRING-HILL-RAILROAD JOB NO.: 180474/MSB	DATE: 11/9/2021	GREINERS HOPE SPRINGS SUB. No. 5
		CONSTRUCTION PLANS
		TITLE SHEET

CIVIL SURVEY CONSULTANTS, INC
CONSULTING ENGINEERS AND LAND SURVEYORS

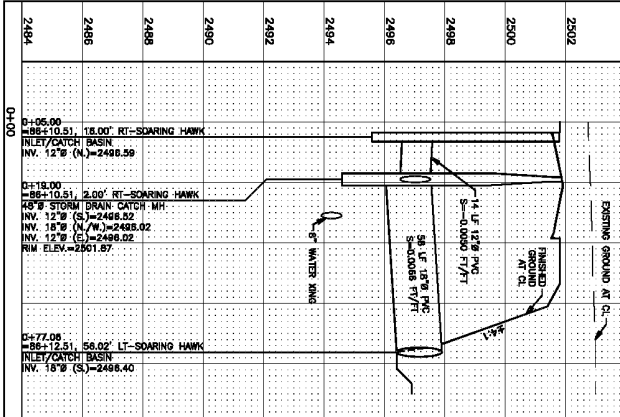
2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312
Fax 888-0323
email: lmoney@civilsurvey.net



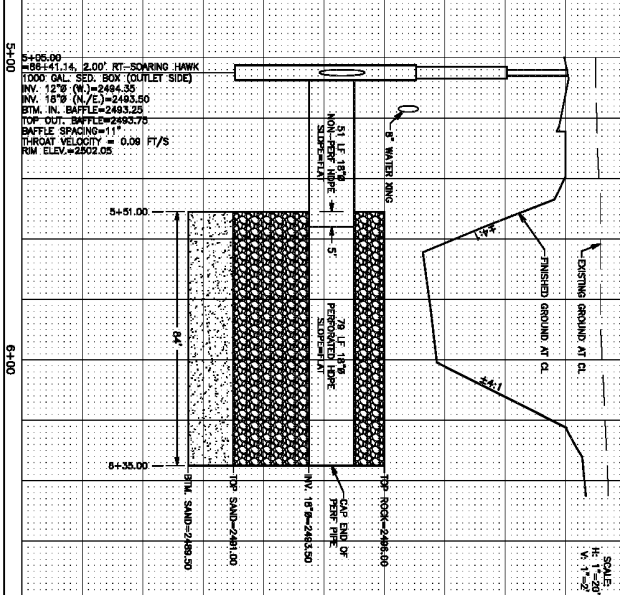
KEYNOTES

- 1. 12" SDR 35 PVC STORM DRAIN PIPE
- 2. 18" SDR 35 PVC STORM DRAIN PIPE
- 3. 18" NON-PERFORATED CORRUGATED HDPE PIPE
- 4. 18" PERFORATED CORRUGATED HDPE PIPE SEE DETAIL ON THIS SHEET
- 5. DRAIN TRENCH PER ACID DRAINAGE DETAIL ON THIS SHEET
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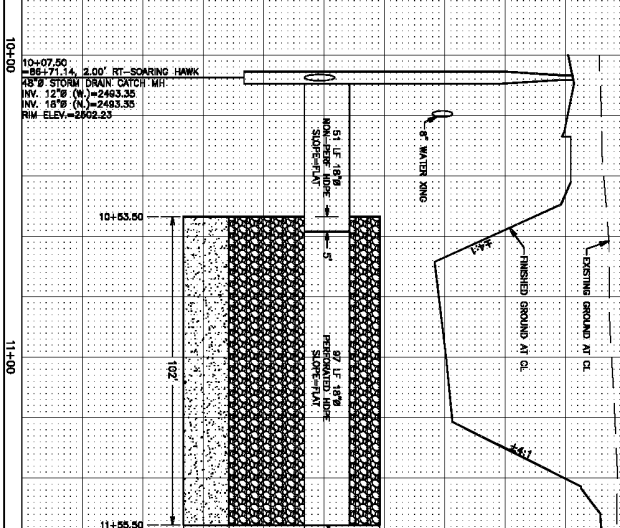
SECTION A-A



SECTION B-B



SECTION C-C



PIPE REPERFORATION SCHEDULE

NO.	ITEM	REVISIONS
1.	Revisions per City of Star comments	
2.	Revisions per ACSD comments	

PIPE REPERFORATION SCHEDULE

NO.	ITEM	REVISIONS
1.	Revisions per City of Star comments	
2.	Revisions per ACSD comments	

Plans Are Adopted For Public Street Construction

By signing and affixing the signature block, the undersigned hereby certifies that the plans shown herein are a true and correct copy of the plans as they were submitted to the City of Star for adoption. The undersigned also certifies that the plans shown herein are a true and correct copy of the plans as they were submitted to the City of Star for adoption.

Michael J. Greiners
Greiners Hope Springs Sub. No. 5
12/19/2021

DATE: 11/9/2021
DRAWN: GREG JENSEN
CHK: JACOB JENSEN

GREINERS HOPE SPRINGS SUB. No. 5
DRAINAGE PLANS
BASIN F - PIPE & DRAIN TRENCH

CIVIL SURVEY CONSULTANTS, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS

2803 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 688-8800
Fax: 688-0325
email: jmcneely@civilsurvey.net

NO.	ITEM	REVISIONS
1.	Revisions per City of Star comments	
2.	Revisions per ACSD comments	

PROJECT NO.	18048/Phd
DATE	10/4/2021
DESIGNED	PHD
DRAWN	JAC/JLP
CHECKED	PHD
APPROVED	

PROFESSIONAL ENGINEER
10009
STATE OF IDAHO
JACOB JENSEN

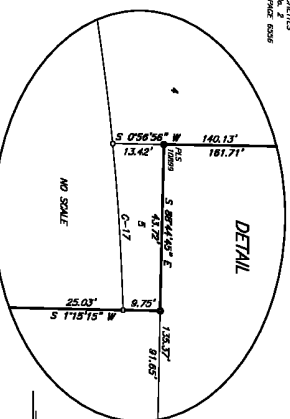
11/9/2021

Appendix C

Final Plats and Easements

LOCATED IN THE S 1/2 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO, AND BEING A REPLAT OF A PART OF RUSTY SPUR RANCHETTES SUBDIVISION AND RUSTY SPUR RANCHETTES SUBDIVISION No. 2
A DEVELOPMENT BY GREEN VILLAGE 2 DEVELOPMENT, INC.

TSN R1W 31.32 CABLE NO.
14N R1W 6.5 2017-051896
PLS
7729



CIVIL SURVEY CONSULTANTS, INC.
2883 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 888-4312

SHEET 2 OF 4

2020

[illegible]

CLIMATE DATA									
CLIMF	DELTA	RODIS	ARC	TANGENT	CHORD	CHORD BRN			
C-1	17.29 3.3	17.300	37.70	18.892	31.63	N 43°17'01" E			
C-2	21.14 22°	338.50	198.85	101.65	198.45	N 37°14'50" E			
C-3	25.00 21°	425.00	253.88	37.599	425.00	S 20°42'42" E			
C-4	28.85 21°	500.00	300.00	37.500	500.00	S 18°00'00" E			
C-5	26.60 16°	600.00	273.58	139.42	271.81	N 75°10'00" E			
C-6	30.00 15°	650.00	321.97	83.867	61.80	S 67°00'00" E			
C-7	33.00 14°	680.00	357.94	62.57	61.80	S 67°00'00" E			
C-8	31.15 9°	2000.00	114.58	37.157	114.57	S 52°04'54" E			
C-9	26.42 44°	2600.00	154.80	77.348	154.85	N 46°14'34" E			
C-10	28.22 22°	2600.00	154.80	77.348	154.85	N 46°14'34" E			
C-11	64.31 20°	100.00	112.61	63.12	108.45	S 10°37'12" E			
C-12	64.31 20°	100.00	112.61	63.12	108.45	S 10°37'12" E			
C-13	64.31 20°	652.00	185.21	32.83	65.19	S 52°04'54" E			
C-14	64.31 20°	652.00	185.21	32.83	65.19	S 52°04'54" E			
C-15	57.61 15°	625.00	62.47	29.14	62.44	N 61°10'00" E			
C-16	57.61 15°	625.00	62.47	29.14	62.44	N 61°10'00" E			
C-17	57.61 15°	625.00	62.47	29.14	62.44	N 61°10'00" E			
C-18	48.95 16°	650.00	158.19	86.40	158.99	S 45°00'00" E			
C-19	48.95 16°	650.00	158.19	86.40	158.99	S 45°00'00" E			
C-20	48.95 16°	650.00	158.19	86.40	158.99	S 45°00'00" E			
C-21	6.60 31°	450.00	26.88	13.35	26.88	S 37°00'00" E			
C-22	6.60 31°	450.00	26.88	13.35	26.88	S 37°00'00" E			
C-23	14.01 30°	450.00	26.88	13.35	26.88	S 37°00'00" E			
C-24	14.01 30°	450.00	26.88	13.35	26.88	S 37°00'00" E			
C-25	27.73 10°	517.00	24.77	12.14	24.77	S 27°00'00" E			
C-26	11.08 34°	125.00	24.25	12.16	24.21	N 83°00'00" E			
C-27	11.08 34°	125.00	24.25	12.16	24.21	N 83°00'00" E			
C-28	11.08 34°	125.00	24.25	12.16	24.21	N 83°00'00" E			
C-29	11.08 34°	125.00	24.25	12.16	24.21	N 83°00'00" E			
C-30	11.08 34°	125.00	24.25	12.16	24.21	N 83°00'00" E			
C-31	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-32	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-33	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-34	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-35	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-36	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-37	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-38	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-39	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-40	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-41	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-42	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-43	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-44	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-45	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-46	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-47	26.92 31°	15.00	27.13	13.92	27.16	S 45°00'00" E			
C-48	26.92 31°	15.00							

CIVIL SURVEY CONSULTANTS, INC.

- [illegible]

LEGEND

SUBSTRATE MATERIAL

- SET 5/8" IRON PIN WITH PLS. 16780 PLASTIC CAP
- FOUND 1/2" IRON PIN WITH PLASTIC CAP AS LABELED
- FOUND 3/8" IRON PIN WITH PLS. 16780 PLASTIC CAP AS LABELED
- SET 1/2" IRON PIN WITH PLS. 16780 PLASTIC CAP

FASTENING LINE

--- STRUT LINE

--- LOU LINE

0 30 60 120 18

SCALE: 1"=60

LOCATED IN THE S 1/2 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR
ADA COUNTY, IDAHO AND BEING A REPLAT OF A PART OF LOTS 2 AND 4 OF RUSTY SPUR RANCHETTES SUBDIVISION

A DEVELOPMENT BY GREEN VILLAGE 2 DEVELOPMENT, INC.

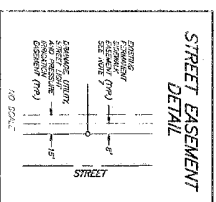
2020

[illegible]

SURVEYOR NARRATIVE

[illegible]

**STREET EASEMENT
DETAIL**



REFERENCES

REFERENCE RECORD OF SURVEY NUMBERS:
1229, 1249, 2473, 4087, 11785, 11809

LEGEND

- ② SET 5/8" IRON PIN WITH PLS 18780
PLASTIC CAP
- ③ FOUND 5/8" IRON PIN WITH PLS 187
PLASTIC CAP OR AS LABELED
- ④ FOUND ALUMINUM CAP MOMENT
- ⑤ FOUND 1/2" IRON PIN WITH PLS 187
PLASTIC CAP OR AS LABELED
- ⑥ SET 1/2" IRON PIN WITH PLS 18780
PLASTIC CAP
- ⑦ CALCULATED PCMT - NOTHING SET

SEE SHEET 2 FOR NOTES

SHEET 1 OF 4

CIVIL SURVEY CONSULTANTS, INC.

2893 SOUTH MERIDIAN
MERIDIAN, IDAHO 836
(208) 888-4512

GREINERS HOPE SPRINGS SUBDIVISION No. 2

NOTES

1. THE DEVELOPMENT OF THIS PROPERTY SHALL BE IN CONFORMANCE WITH THE ZONING ORDINANCE OR AS SPECIFICALLY APPROVED BY THE NO. 42-18-0024-18-0024-18-03.
2. ALL LOTS HAVE A 10 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES LOT OWNERS PRESSURE INJECTION AND STORM WATER DRAINAGE SYSTEMS TO ALL PROPERTIES. ALL NEIGH LOT LINES HAVE A 10 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES LOT OWNERS AND PRESSURE INJECTION SYSTEMS. THE PRESSURE INJECTION SYSTEM IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION. THE OTHER EASEMENTS ARE AS SHOWN.
3. ANYWHERE BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR AS SPECIFICALLY APPROVED AND/OR REQUIRED, OR AS SHOWN ON THIS PLAN.
4. BUILDING AND OCCUPANCY SHALL COMPLY WITH THE SPECIFICATIONS ESTABLISHED BY THE RELEVANT CODES TO BE FILED IN THE OFFICE OF THE RECORDER, ADJ. COUNTY, MO.
5. ANY RE-DEVELOPMENT OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-DEVELOPMENT.
6. THIS DEVELOPMENT PROVIDES SECTION 22-400 OF THE PLAT CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURE, AGRICULTURAL, AGRICULTURAL-RELATED ACTIVITIES, OR AGRICULTURAL-RELATED ACTIVITIES SHALL BE CONSIDERED A VIOLATION OF ANY ZONING OR SUBDIVISION REGULATIONS. A VIOLATION SHALL NOT BE A VIOLATION AT THE TIME IT BECAME OR WAS CONSIDERED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A VIOLATION RESULTS FROM THE IMPROVEMENT OR MAINTENANCE OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EQUIPMENT THEREON."
7. LOTS 21 OF BLOCK 1, LOT 9 OF BLOCK 8 AND LOT 8 OF BLOCK 8 ARE SUBJECT TO AN EXISTING PERMANENT EASEMENT CONTIGUOUS TO ALL STREETS AS DESCRIBED IN WEST NO. 2020-044701 OWNERS ASSOCIATION. AND LOTS ARE SUBJECT TO A BLAVER EASEMENT FOR PUBLIC UTILITIES DRAINAGE AND PRESSURE INJECTION PURPOSES. THE PRESSURE INJECTION SYSTEM IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION.
8. GREINERS HOPE SPRINGS SUBDIVISION NO. 2 IS SUBJECT TO A LICENSE AGREEMENT WITH ADRI FOR UTILIZING AS DESCRIBED IN INSTRUMENT NO. 2020-037016.
9. DIRECT LOT ACCESS TO K. NEW HOPE ROAD IS PROVIDED.
10. LOT 9 OF BLOCK 8 AND LOT 8 OF BLOCK 8 ARE SUBJECT TO AND CONTAIN THE ADRI STORM WATER DRAINAGE SYSTEM. THESE LOTS ARE ENGINEERED TO ACCOMMODATE THE ADRI STORM WATER DRAINAGE SYSTEM. THE ADRI STORM WATER DRAINAGE SYSTEM IS LOCATED TO SECTION 40-4002 ADRI CODE. THE MASTER EASEMENT IS FOR THE OPERATION AND MAINTENANCE OF THE STORM WATER DRAINAGE SYSTEM. AND LOTS ARE COMMON LOTS AND WILL BE OWNED AND MAINTAINED BY THE HOPE SPRINGS OWNERS ASSOCIATION.



CITY STREET CONSULTANTS, INC.
2801 SUNN MEADOW ROAD
ST. LOUIS, MISSOURI 63116
(314) 389-4712

LOCATED IN THE S 1/2 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO AND BEING A REPLAT OF A PART OF LOT 4 OF BLOCK 1 OF RUSTY SPUR RANCHETTES AND A PART OF LOTS 5, 6, AND 9 OF BLOCK 1 OF RUSTY SPUR RANCHETTES NO. 2

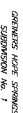
A DEVELOPMENT BY GREEN VILLAGE 3 DEVELOPMENT, LLC

2021

3

GREEN VILLAGE 3 DEVELOPMENT, LLC

A DEVELOPMENT BY GREEN VILLAGE 3 DEVELOPMENT, LLC



LEGEND

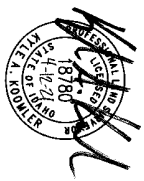
SUBDIVISION BOUNDARY
 SET 3/8"x24" IRON PIN WITH FLS 10/800
 FLASTIC CAP OR AS NOTED
 FOUND 1/2" IRON PIN WITH FLS 10/800
 FLASTIC CAP OR AS NOTED
 FOUND 1/2" IRON PIN WITH FLS 10/800
 FLASTIC CAP OR AS NOTED
 FOUND ALUMINUM CAP ADJACENT
 SET 1/2"x24" IRON PIN WITH FLS 10/800
 FLASTIC CAP
 CALCULATED POINT, NOTHING SET
 W/INS CORNER
 W.C.
 SECTION LINE
 STREET CENTERLINE
 LOT LINE
 EXISTING LOT LINE
 EASEMENT LINE

CIVIL SURVEY CONSULTANTS, INC.

MERIDIAN, IDAHO 83642
(208) 888-4112

3104-000 (00)

SHEET 1 OF 4



GREINERS HOPE SPRINGS SUBDIVISION NO. 3

LINE DATA		
LINE	BEARING	DISTANCE
1-2	S 89°13'52" E	16.82
2-3	S 89°13'52" E	16.82
3-4	N 45°39'42" W	12.56
4-5	N 45°39'42" W	12.56
5-6	N 49°40'29" E	48.59
6-7	N 50°13'19" E	48.59
7-8	N 51°40'10" E	48.59
8-9	N 51°40'10" E	48.59
9-10	S 89°13'57" E	12.29
10-11	S 89°13'57" E	12.29
11-12	S 71°51'17" E	26.59
12-13	S 71°51'17" E	26.59
13-14	S 64°1'25" W	28.01
14-15	N 32°34'52" E	25.41
15-16	N 32°34'52" E	25.41
16-17	N 32°34'52" E	25.41
17-18	S 70°13'06" E	17.69
18-19	S 70°13'06" E	17.69
19-20	S 49°13'30" E	8.02

CURVE DATA					
CURVE	DELTA	POINTS	ANG	TANGENT	CHORD
C-1	180°	20	90°	30.12	30.12
C-2	74°02'39"	225.00	70.10	15.10	30.12
C-3	207°17'02"	200.00	70.10	35.49	70.43
C-4	175°15'18"	175.00	170.80	35.49	35.49
C-5	54°27'10"	440.00	460.81	216.26	586.89
C-6	15°51'56"	866.72	223.39	113.41	223.67
C-7	207°17'02"	275.00	61.95	31.80	61.63
C-8	180°	166.31	166.31	106.89	176.03
C-9	71°51'14"	150.00	155.41	75.46	117.35
C-10	282°14'09"	150.00	155.41	75.46	117.35
C-11	15°51'56"	150.00	41.32	20.34	40.51
C-12	15°51'56"	150.00	41.32	20.34	40.51
C-13	15°51'56"	150.00	41.32	20.34	40.51
C-14	15°51'56"	150.00	41.32	20.34	40.51
C-15	15°51'56"	150.00	41.32	20.34	40.51
C-16	28°46'08"	100.00	46.69	24.79	46.27
C-17	56°21'10"	465.00	229.07	110.86	224.44
C-18	56°21'10"	465.00	229.07	110.86	224.44
C-19	56°21'10"	465.00	229.07	110.86	224.44
C-20	6°00'21"	465.00	46.75	24.40	46.27
C-21	6°00'21"	465.00	46.75	24.40	46.27
C-22	6°00'21"	465.00	46.75	24.40	46.27
C-23	6°00'21"	465.00	46.75	24.40	46.27
C-24	6°00'21"	465.00	46.75	24.40	46.27
C-25	6°00'21"	465.00	46.75	24.40	46.27
C-26	6°00'21"	465.00	46.75	24.40	46.27
C-27	6°00'21"	465.00	46.75	24.40	46.27
C-28	6°00'21"	465.00	46.75	24.40	46.27
C-29	6°00'21"	465.00	46.75	24.40	46.27
C-30	6°00'21"	465.00	46.75	24.40	46.27
C-31	6°00'21"	465.00	46.75	24.40	46.27
C-32	6°00'21"	465.00	46.75	24.40	46.27
C-33	6°00'21"	465.00	46.75	24.40	46.27
C-34	6°00'21"	465.00	46.75	24.40	46.27
C-35	6°00'21"	465.00	46.75	24.40	46.27
C-36	6°00'21"	465.00	46.75	24.40	46.27
C-37	6°00'21"	465.00	46.75	24.40	46.27
C-38	6°00'21"	465.00	46.75	24.40	46.27
C-39	6°00'21"	465.00	46.75	24.40	46.27
C-40	6°00'21"	465.00	46.75	24.40	46.27
C-41	6°00'21"	465.00	46.75	24.40	46.27
C-42	6°00'21"	465.00	46.75	24.40	46.27
C-43	6°00'21"	465.00	46.75	24.40	46.27
C-44	6°00'21"	465.00	46.75	24.40	46.27

NOTES

1. THE DEVELOPMENT OF THIS PROPERTY SHALL BE IN COMPLIANCE WITH THE ZONING ORDINANCE OR AS SPECIFICALLY APPROVED BY THE NO. 16-19-0024-19-00-PP-19-03.
2. ALL LOTS HAVE A 10 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE, PRESSURE IRRIGATION AND STREET LIGHT PURPOSES CONTRACTS TO THE CITY OF SAN ANTONIO. THE EASEMENT SHALL BE 10 FEET WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION, INC.. ALL OTHER EASEMENTS ARE AS SHOWN.
3. HOPE SPRINGS SUBDIVISION NO. 3 IS BOUNDED TO THE NORTH AND EAST BY RUSTY SPUR PARCELS NO. 2, BOUNDED ON THE SOUTH BY A 10 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE EASEMENT SHALL BE 10 FEET WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION, INC.. ALL OTHER EASEMENTS ARE AS SHOWN.
4. BUILDING AND OCCUPANCY SHALL COMPLY WITH THE CITY OF SAN ANTONIO ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF THE DEVELOPMENT OF THIS PROPERTY, AS WELL AS ANY FUTURE AMENDMENTS.
5. ANY RE-DEVELOPMENT OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-DEVELOPMENT.
6. THIS DEVELOPMENT REQUIRES SECTION 22-4503 OF THE DRAIN CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, INCLUDING BUT NOT LIMITED TO THE USE OF LAND FOR AGRICULTURE, SHALL BE CONSIDERED A VIOLATION OF ANY ORDINANCE, RULE, OR REGULATION, OR ANY OTHER ACT, WHICH MAY BE ENACTED OR ENFORCED AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHICH THE OPERATION, FACILITY OR EXPANSION WAS NOT A VIOLANCE AT THE TIME IT BEGAN OR WAS FIRST CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A VIOLANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
7. LOTS ABUTTING PUBLIC RIGHT-OF-WAY ARE SUBJECT TO AN EXISTING PERMANENT EASEMENT CONTIGUOUS TO ALL STREETS AS DESCRIBED IN WEST NO. 16-19-0024-19-00-PP-19-03.
8. LOTS 3 OF BLOCK 4, LOTS 14 AND 28 OF BLOCK 5, LOT 11 OF BLOCK 7 AND LOT 12 OF BLOCK 8 ARE LANDSCAPE COMMON LOTS WHICH SHALL BE MAINTAINED AND PRESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION, INC..
9. GREINERS HOPE SPRINGS SUBDIVISION NO. 3 IS SUBJECT TO A LICENSE AGREEMENT WITH ACDH FOR LANDSCAPING AS DESCRIBED IN INSTRUMENT NO. 10805388.
10. DIRECT LOT ACCESS TO N. MID CLOVER AVENUE IS PROHIBITED.
11. LOT 14 OF BLOCK 5 AND LOT 11 OF BLOCK 7 ARE SUBJECT TO WATER DRAINAGE EASEMENT RECORDED ON NOVEMBER 10, 2015 AS INSTRUMENT NO. 10805388, FOR THE PURPOSES OF THE HOPE SPRINGS OWNERS ASSOCIATION, INC..
12. EASEMENTS AS PLATTED BY RUSTY SPUR PARCELS NO. 2 AFFECT THIS SUBDIVISION HAVE BEEN MAINTAINED BY BOTH THE CITY OF SAN ANTONIO AND THE HOPE SPRINGS OWNERS ASSOCIATION, INC..
13. LOT 3 OF BLOCK 4 AND LOT 12 OF BLOCK 8 ARE SUBJECT TO AN EXISTING EASEMENT RECORDED IN INSTRUMENT NO. 10805388, SET DETAIL A AND B OF SHEET 1.
14. LOT 11 OF BLOCK 7 IS SUBJECT TO A DRAINAGE EASEMENT HEREBY DECATED FOR THE RUSTY SPUR TRACT FOR THE BENEFIT OF MULTIPLE AGRICULTURAL ASSOCIATION AND IRRIGATION WELL DRILL COMPANY AND THE FARMERS UNION DRILL COMPANY, ON ITS ASSASSIN AND IS SHOWN HEREIN.

REFERENCES

- REFERENCE RECORD OF SURVEY NUMBERS:
1228, 1248, 2423, 4007, 11703, 11780
- REFERENCE PLATS OF:
RUSTY SPUR PARCELS NO. 2
SALING JAMES SUBDIVISION
GREINERS HOPE SPRINGS NO. 1
GREINERS HOPE SPRINGS NO. 2
FALLMEADOW SUBDIVISION NO. 3

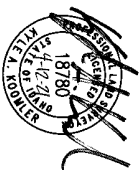
SURVEYOR NARRATIVE

THE PLAT OF GREINERS HOPE SPRINGS SUBDIVISION NO. 3 IS A COMPARISON OF THE MAPS FOR THE GREINERS HOPE SPRINGS SUBDIVISION, THE HOPE SPRINGS SUBDIVISION NO. 1 AND THE HOPE SPRINGS SUBDIVISION NO. 2. THE PLAT OF GREINERS HOPE SPRINGS SUBDIVISION NO. 3 IS BOUNDED TO THE NORTH AND EAST BY RUSTY SPUR PARCELS NO. 2, BOUNDED ON THE SOUTH BY A 10 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE EASEMENT SHALL BE 10 FEET WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION, INC.. ALL OTHER EASEMENTS ARE AS SHOWN.

THE PLAT OF GREINERS HOPE SPRINGS SUBDIVISION NO. 3 IS BOUNDED TO THE NORTH AND EAST BY RUSTY SPUR PARCELS NO. 2, BOUNDED ON THE SOUTH BY A 10 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE EASEMENT SHALL BE 10 FEET WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION, INC.. ALL OTHER EASEMENTS ARE AS SHOWN.

THE PLAT OF GREINERS HOPE SPRINGS SUBDIVISION NO. 3 IS BOUNDED TO THE NORTH AND EAST BY RUSTY SPUR PARCELS NO. 2, BOUNDED ON THE SOUTH BY A 10 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE EASEMENT SHALL BE 10 FEET WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION, INC.. ALL OTHER EASEMENTS ARE AS SHOWN.

THE PLAT OF GREINERS HOPE SPRINGS SUBDIVISION NO. 3 IS BOUNDED TO THE NORTH AND EAST BY RUSTY SPUR PARCELS NO. 2, BOUNDED ON THE SOUTH BY A 10 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE EASEMENT SHALL BE 10 FEET WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION, INC.. ALL OTHER EASEMENTS ARE AS SHOWN.



CIVIL SURVEY CONSULTANTS, INC.

2834 SOUTH MARSHALL ROAD
AUSTIN, TEXAS 78746
(512) 889-4172

LINE DATA		
LINE	BEARING	DISTANCE
1-1	S 71.1571° E	26.59
1-2	S 60.931° E	38.71
1-3	N 68.934° E	35.17
1-4	N 76.934° E	26.07
1-5	N 68.934° E	46.83
1-6	N 67.934° E	16.89
1-7	N 43.931° W	16.89
1-8	N 43.931° W	16.89
1-9	N 43.931° W	26.72
1-10	S 43.932° E	3.01
1-11	S 43.932° E	36.82
1-12	S 40.944° E	16.89
1-13	N 41.943° E	16.89
1-14	N 46.943° E	16.89
1-15	N 46.943° E	17.14
1-16	S 38.944° E	36.83
1-17	S 38.944° E	36.83
1-18	S 38.944° E	36.83
1-19	N 42.943° E	24.07
1-20	N 42.943° E	26.07
1-21	N 43.933° W	26.07
1-22	N 43.933° W	26.07
1-23	N 43.933° W	26.07
1-24	N 43.933° W	26.07
1-25	N 43.933° W	26.07
1-26	N 43.933° W	26.07
1-27	N 43.933° W	26.07
1-28	N 43.933° W	26.07
1-29	N 43.933° W	26.07
1-30	N 43.933° W	26.07
1-31	N 43.933° W	26.07
1-32	N 43.933° W	26.07
1-33	N 43.933° W	26.07
1-34	N 43.933° W	26.07
1-35	N 43.933° W	26.07
1-36	N 43.933° W	26.07
1-37	N 43.933° W	26.07
1-38	N 43.933° W	26.07
1-39	N 43.933° W	26.07
1-40	N 43.933° W	26.07
1-41	N 43.933° W	26.07
1-42	N 43.933° W	26.07
1-43	N 43.933° W	26.07
1-44	N 43.933° W	26.07
1-45	N 43.933° W	26.07
1-46	N 43.933° W	26.07
1-47	N 43.933° W	26.07
1-48	N 43.933° W	26.07
1-49	N 43.933° W	26.07
1-50	N 43.933° W	26.07
1-51	N 43.933° W	26.07
1-52	N 43.933° W	26.07
1-53	N 43.933° W	26.07
1-54	N 43.933° W	26.07
1-55	N 43.933° W	26.07
1-56	N 43.933° W	26.07
1-57	N 43.933° W	26.07
1-58	N 43.933° W	26.07
1-59	N 43.933° W	26.07
1-60	N 43.933° W	26.07
1-61	N 43.933° W	26.07
1-62	N 43.933° W	26.07
1-63	N 43.933° W	26.07
1-64	N 43.933° W	26.07
1-65	N 43.933° W	26.07
1-66	N 43.933° W	26.07
1-67	N 43.933° W	26.07
1-68	N 43.933° W	26.07
1-69	N 43.933° W	26.07
1-70	N 43.933° W	26.07
1-71	N 43.933° W	26.07
1-72	N 43.933° W	26.07
1-73	N 43.933° W	26.07
1-74	N 43.933° W	26.07
1-75	N 43.933° W	26.07
1-76	N 43.933° W	26.07
1-77	N 43.933° W	26.07
1-78	N 43.933° W	26.07
1-79	N 43.933° W	26.07
1-80	N 43.933° W	26.07
1-81	N 43.933° W	26.07
1-82	N 43.933° W	26.07
1-83	N 43.933° W	26.07
1-84	N 43.933° W	26.07
1-85	N 43.933° W	26.07
1-86	N 43.933° W	26.07
1-87	N 43.933° W	26.07
1-88	N 43.933° W	26.07
1-89	N 43.933° W	26.07
1-90	N 43.933° W	26.07
1-91	N 43.933° W	26.07
1-92	N 43.933° W	26.07
1-93	N 43.933° W	26.07
1-94	N 43.933° W	26.07

1. THE DEVELOPMENT OF THIS PROPERTY SHALL BE IN COMPLIANCE WITH THE ZONING ORDINANCE OR AS SPECIFICALLY APPROVED BY FILE NO. 14-19-040-19-0000-19-001.

2. ALL LOTS HAVE A 5' FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE, PRESSURE, AIRBORNE AND STREET LIGHT PURPOSES CONTIGUOUS TO ALL PUBLIC STREETS. ALL SIDE LOT LINES HAVE A 5' FOOT WIDE EASEMENT ON EACH SIDE FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURE PURPOSES. THE PRESSURE EASEMENT IS RESERVED FOR THE HOME STWARDS OWNERS ASSOCIATION, INC. ALL OTHER EASEMENTS ARE AS SHOWN.

3. MINIMAL BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF AN APPROVED BUILDING PERMIT OR AS SPECIFICALLY APPROVED AND/OR REQUIRED, OR AS SHOWN ON THIS PLAN.

4. BUILDING AND OCCUPANCY SHALL COMPLY TO THE CITY/APPROVED ZONING AND RESTRICTIONS (CODES) RECEIVED AS INSTRUMENT NO. 2020-10770A.

5. ANY RE-DEVELOPMENT OF THIS PLAN SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.

6. ANY RE-SUBDIVISION OF THIS PLAN SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.

7. THIS DEVELOPMENT/REDEVELOPMENT SECTION 230-0403 OF THE HOME CODE, INTEND TO REMAIN AS, WHICH STATES, NO CONCURRENTLY OWNED, AGRICULTURAL, FACILITY OR DEVELOPMENT THEREOF SHALL BE OR BECOME A RESIDENTIAL, RENTAL OR PUBLIC, OR ANY CHANGED CONTAINING IN OR ABOUT OR EXPANSION HAS NOT A RESIDENCE AT THE TIME IT BECAME OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A RESIDENCE RESULTS FROM THE IMPROVED OR REDEVELOPMENT OF AN AGRICULTURAL, FACILITY OR DEVELOPMENT THEREOF.

8. LOTS ADJOINING PUBLIC HIGHWAY OR ANY ARE SUBJECT TO AN EXISTING REQUIREMENT EASEMENT CONTIGUOUS TO ALL STREETS AS DESCRIBED IN INSTRUMENT NO. 2020-149016.

9. LOTS 16, 17 AND BLOCK 2, LOT 16 OF BLOCK 4, LOT 11 OF BLOCK 8, LOT 3 OF BLOCK 10, AND LOT 1 OF BLOCK 12 ARE THE LANDSCAPING COMMON TO THE PUBLIC UTILITIES, DRAINAGE AND PRESSURIZED AIRBORNE PURPOSES. THE PRESSURE EASEMENT IS RESERVED FOR THE HOME STWARDS OWNERS ASSOCIATION, INC.

10. LOTS 16, 17 AND BLOCK 2, LOT 16 OF BLOCK 4, LOT 11 OF BLOCK 8, LOT 3 OF BLOCK 10, AND LOT 1 OF BLOCK 12 ARE THE LANDSCAPING COMMON TO THE PUBLIC UTILITIES, DRAINAGE AND PRESSURIZED AIRBORNE PURPOSES. THE PRESSURE EASEMENT IS RESERVED FOR THE HOME STWARDS OWNERS ASSOCIATION, INC.

[illegible]

REFERENCE PLATS OF:
RUSBY SPUR RANCHETTES
RUSBY SPUR RANCHETTES NO. 2
SLEIGH HAWKS SUBDIVISION
GREENBERRY MOORE SPRINGS NO. 1
GREENBERRY MOORE SPRINGS NO. 3
FALLBROOK SUBDIVISION NO. 3

THE UNIVERSITY HASING ROAD, THE UNIVERSITY OF THE SAUNDERS GROUP IS A 1/2" DIAMETER AND THE WAS RECOVERED AS SHOWN REFERRED TO THE UNIVERSITY WITH SAUND CODE 90-1534.

CIVIL SURVEY CONSULTANTS, INC.

2893 SOUTH MERIDIAN RD
MERIDIAN, IDAHO 83642
(208) 888-4312

LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 5, AND IN THE SE 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO, AND BEING, REPEAT OF A PART OF LOTS 6, 8, AND 9 OF BLOCK 1 OF RUSTY SPUR RANCHETTES SUBDIVISION NO. 2 A DEVELOPMENT BY RICHMOND AMERICAN HOMES OF IDAHO, INC.

CR&E No.
2017-051866

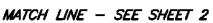
13N, R1W
14N, R1W
14S, R1W
1759

31, 32
6
5
7759

108.74°
NG

REC'D OF SURVEY
NO. S. 17785, 17809

SEE SHEET 2 FOR CURVE DATA,
LINE DATA AND NOTES



SEE SHEET 2 FOR CURVE DATA,
LINE DATA AND NOTES

**STREET EASEMENT
DETAIL**

DRAINAGE EASEMENT
SIDEWALK SETBACK
STREET LIGHT SETBACK
DRIVEWAY EASEMENT
STREET LIGHT SETBACK
DRIVEWAY EASEMENT
STREET

8'
10'

NO SCALE

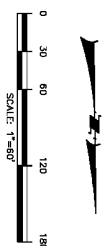
SURVEYOR NARRATIVE

CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERCIDIAN, IDAHO 83642
(208) 888-4312

SHEET 1 OF 4

LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 5, AND IN THE SE 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO, AND BEING A REPLAT OF A PART OF LOTS 5, 7, 8, AND 9 OF BLOCK 1 OF RUSTY SPUR RANCHETTES SUBDIVISION NO. 2 A DEVELOPMENT BY RICHMOND AMERICAN HOMES OF IDAHO, INC.

SEE SHEET 2 FOR CURVE DATA
LINE DATA AND NOTES

[illegible][illegible]

CIVIL SURVEY CONSULTANTS, INC.

2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 888-4312

10

19

SET

7777

1 OF

4

SEE SHEET 2 FOR CURVE DATA,
LINE DATA AND NOTES

SHEET 1 OF 4

SIREE / EASEMENT DETAIL

NOTES

- LINE DATA

LINE	BEARING	DISTANCE
1-2	N. 89° 32' W.	35.84
2-3	S. 85° 52' W.	4.44
3-4	N. 80° 08' 32" W.	6.44
4-5	S. 65° 52' W.	26.72
5-6	S. 88° 11' 30" E.	18.96
6-7	S. 88° 11' 30" E.	18.96
7-8	S. 3° 38' 47" W.	18.96
8-9	S. 88° 11' 30" E.	3.48
9-10	S. 65° 52' W.	27.00
10-11	S. 65° 11' 3" W.	2.05
11-12	N. 89° 32' W.	3.85
12-13	S. 44° 02' 30" W.	45.89
13-14	N. 89° 32' W.	18.44
14-15	S. 88° 11' 30" E.	18.96
15-16	N. 100° 31' E.	1.08

CURVE DATA		CURVE DATA		CURVE DATA	
CURVE	DATA	RADIUS	ARC	INFLUENT	CHORD
C-1	288.41	552.00	30.35	15.18	20.35
C-2	298.44	568.00	30.70	15.35	20.70
C-3	308.47	584.00	31.05	15.53	21.05
C-4	318.50	600.00	31.40	15.71	21.40
C-5	328.53	616.00	31.75	15.89	21.75
C-6	338.56	632.00	32.10	16.07	22.10
C-7	348.59	648.00	32.45	16.25	22.45
C-8	358.62	664.00	32.80	16.43	22.80
C-9	368.65	680.00	33.15	16.61	23.15
C-10	378.68	696.00	33.50	16.79	23.50
C-11	388.71	712.00	33.85	16.97	23.85
C-12	398.74	728.00	34.20	17.15	24.20
C-13	408.77	744.00	34.55	17.33	24.55
C-14	418.80	760.00	34.90	17.51	24.90
C-15	428.83	776.00	35.25	17.69	25.25
C-16	438.86	792.00	35.60	17.87	25.60
C-17	448.89	808.00	35.95	18.05	25.95
C-18	458.92	824.00	36.30	18.23	26.30
C-19	468.95	840.00	36.65	18.41	26.65
C-20	478.98	856.00	37.00	18.59	27.00
C-21	489.01	872.00	37.35	18.77	27.35
C-22	499.04	888.00	37.70	18.95	27.70
C-23	509.07	904.00	38.05	19.13	28.05
C-24	519.10	920.00	38.40	19.31	28.40
C-25	529.13	936.00	38.75	19.49	28.75
C-26	539.16	952.00	39.10	19.67	29.10
C-27	549.19	968.00	39.45	19.85	29.45
C-28	559.22	984.00	39.80	20.03	29.80
C-29	569.25	1000.00	40.15	20.21	30.15
C-30	579.28	1016.00	40.50	20.39	30.50
C-31	589.31	1032.00	40.85	20.57	30.85
C-32	599.34	1048.00	41.20	20.75	31.20
C-33	609.37	1064.00	41.55	20.93	31.55
C-34	619.40	1080.00	41.90	21.11	31.90
C-35	629.43	1096.00	42.25	21.29	32.25
C-36	639.46	1112.00	42.60	21.47	32.60
C-37	649.49	1128.00	42.95	21.65	32.95
C-38	659.52	1144.00	43.30	21.83	33.30
C-39	669.55	1160.00	43.65	22.01	33.65
C-40	679.58	1176.00	44.00	22.19	34.00
C-41	689.61	1192.00	44.35	22.37	34.35
C-42	699.64	1208.00	44.70	22.55	34.70
C-43	709.67	1224.00	45.05	22.73	35.05
C-44	719.70	1240.00	45.40	22.91	35.40
C-45	729.73	1256.00	45.75	23.09	35.75
C-46	739.76	1272.00	46.10	23.27	36.10
C-47	749.79	1288.00	46.45	23.45	36.45
C-48	759.82	1304.00	46.80	23.63	36.80
C-49	769.85	1320.00	47.15	23.81	37.15
C-50	779.88	1336.00	47.50	23.99	37.50
C-51	789.91	1352.00	47.85	24.17	37.85
C-52	799.94	1368.00	48.20	24.35	38.20
C-53	809.97	1384.00	48.55	24.53	38.55
C-54	819.00	1400.00	48.90	24.71	38.90
C-55	829.03	1416.00	49.25	24.89	39.25
C-56	839.06	1432.00	49.60	25.07	39.60
C-57	849.09	1448.00	49.95	25.25	39.95
C-58	859.12	1464.00	50.30	25.43	40.30
C-59	869.15				

REFERENCE NUMBERS OF SURVEY NUMBERS:
1229, 1249, 2473, 4067, 7793, 11785, 11809

REFERENCE PLAYS OF:
RUSTY SPUR RANCHETTES NO. 2
RUSTY SPUR RANCHETTES NO. 3
RUSTIC RIDGE SUBMISSION
GREENEYS HOPE SPRINGS NO. 3
GREENEYS HOPE SPRINGS NO. 4
GREENEYS HOPE SPRINGS NO. 5

[illegible]

CIVIL SURVEY CONSULTANTS, INC.

2895 SOUTH MERIDIAN RD
MERIDIAN, IDAHO 83642
(208) 888-4312

TEMPORARY STORM WATER DRAINAGE EASEMENT

This Storm Water drainage Easement ("Easement") is made as of the 5 day of March, 20 20 by and between Tucker M Johnson, Property Owner, and Ada County Highway District, a body corporate and politic of the State of Idaho (hereinafter "ACHD");

WITNESSETH:

For good and sufficient consideration it is agreed:

Section 1. Recitals.

1.1 Grantor owns the parcel of real property located in Ada County, Idaho, more particularly described and depicted on Exhibit "A" attached hereto (the "Servient Estate").

1.2 Grantor is developing a subdivision in Ada County, known as the Greiner Hope Springs Subdivision No 1 and the preliminary plat of the first phase of such subdivision has been approved by ACHD. When the final plat is approved by ACHD and recorded, a public right-of-way for streets and related improvements, including drainage easements will be dedicated to ACHD. When the streets and related improvements are constructed by the Grantor in the right-of-way, and ACHD has accepted the same, they will become a part of the ACHD system of highways.

1.3 The storm water drainage system related to the platted streets to be dedicated to ACHD when the plat referred to in Section 1.2 is recorded will extend beyond the plat and on, over and across the Servient Estate as a temporary storm water drainage system ("Temporary Facility"), to be replaced with a permanent storm water drainage system ("Permanent Facility") with the development of the Servient Estate, and on the terms and conditions hereinafter set forth the Grantor desires to grant to ACHD, and ACHD desires to accept, an easement for storm water drainage on, over, under and across the Servient Estate, and for the repair, maintenance, reconstruction, and enhancement thereof.

Section 2. Grant of Easement

2.1 For the period and on the terms and conditions hereinafter set forth, Grantor hereby grants to ACHD an easement and right-of-way for storm water drainage from the ACHD system of highways on, under, over and across the

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

Servient Estate, and for the repair, maintenance, reconstruction and enhancement of the same (hereafter "Authorized Use")

2.2 The easement herein granted is exclusive to ACHD, and no structures, fences or other improvements are to be constructed, or landscaping planted, on the Servient Estate by Grantor or Grantor's successors or assigns to the underlying title thereto without the prior written consent of ACHD. Such consent will not be given if, in its sole discretion, ACHD determines the proposed improvement and/or landscaping may interfere with ACHD's Authorized Use of the Servient Estate. When such consent is given, if any structures, fences, landscaping or other improvements constructed or planted on the Servient Estate must be removed in order for ACHD to undertake any Authorized Use of the Servient Estate, the costs of removal and replacement or restoration of the same shall be the obligation of Grantor.

Section 3. Construction; Acceptance; Repair and Maintenance; Grantor Indemnification; Contractor Warranties.

3.1 At Grantor's sole cost and expense, Grantor shall construct and install the Temporary Facility on the Servient Estate in accordance with designs, plans and specifications approved by ACHD in advance, in writing. During construction, Grantor shall give ACHD reasonable notice and opportunity to inspect the same.

3.2 When, by written notice given Grantor, ACHD has accepted the Temporary Facility on the Servient Estate as constructed and installed by Grantor, Grantor shall maintain and repair the Temporary Facility thereafter, at its sole cost and expense for the term of this Easement.

3.3 Grantor shall enforce for the benefit of ACHD any warranties for the construction and installation of the Temporary Facility.

3.4 Grantor shall indemnify and save and hold harmless ACHD, its Commissioners and employees, from and against all claims, actions or judgments for damages, injury or death caused by or arising out of the failure or neglect of Grantor to properly construct, install, maintain and repair the Temporary Facility on the Servient Estate.

Section 4. Grantor Indemnification.

Following ACHD's acceptance of the Temporary Facility as constructed by Grantor, Grantor shall indemnify and hold harmless ACHD from and against all claims, actions or judgments for damages, injury or death caused by or arising out of Grantor's failure or neglect to maintain and repair the Temporary Facility on the Servient Estate for the term of this Easement.

Section 5. Term.

The term of this Easement shall commence upon the date of the recording thereof, and continue in full force and effect until: (i) Grantor records a final subdivision plat covering the Servient Estate which includes a dedication of an easement to ACHD serving the same purpose as this Easement, and (ii) ACHD has accepted for maintenance a Permanent Facility on the Servient Estate as constructed and installed by the Grantor. Upon the occurrence of such events; on request of Grantor, ACHD will execute and deliver to Grantor a release of this Easement.

Section 6. Covenants Run with the Land.

Throughout the term of this Easement, it shall be a burden upon the Servient Estate and shall be appurtenant to and for the benefit of the ACHD system of highways, and shall run with the land.

Section 7. Attorneys Fees and Costs.

In any suit, action or appeal therefrom to enforce or interpret this Easement, the prevailing party shall be entitled to recover its costs incurred therein, including reasonable attorneys' fees.

Section 8. Exhibits.

All exhibits attached hereto and the recitals contained herein are incorporated as if set forth in full herein.

Section 9. Modification.

This Easement may not be amended in whole or in part except by written instrument, duly executed and acknowledged by the parties hereto, and recorded.

Section 10. Notices.

All notices given pursuant to this Easement shall be in writing and shall be given by personal delivery, by United States Mail Certified, Return Receipt Requested, or other established express delivery service (such as Federal Express), postage or delivery charge prepaid, addressed to the appropriate party at the address set forth below:

Grantor: Tucker M Johnson
372 S Eagle Road, Ste 328
Eagle, Idaho 83616

ACHD: Ada County Highway District
3775 N Adams Street
Garden City, Idaho 83714

Section 11. Recordation.

This Easement shall be recorded in the Real Property Records of Ada County, Idaho.

IN WITNESS WHEREOF, the undersigned have cause this Easement to be executed the day and year first set forth above.

GRANTOR


By: Tucker M Johnson
Its: Property Owner

STATE OF IDAHO)
) ss.
County of Ada)

This record was acknowledged before me on March 5
2020

by Tucker M. Johnson [date]
[name(s) of individual(s)]

as Property Owner
[type of authority, such as officer or trustee]

of Green Village 2 Development Inc
[name of party on behalf of whom record was executed]

Lisa Fromhart
Signature of notary public



My commission expires: 2/09/22

EXHIBIT LIST

Exhibit "A". Legal description of Servient Estate.

The Ada County Highway District (ACHD) is committed to compliance with Title VI of the Civil Rights Act of 1964 and related regulations and directives. ACHD assures that no person shall on the grounds of race, color, national origin, gender, disability or age, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any ACHD service, program or activity.

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

EXHIBIT A

STORM DRAIN EASMENT NO. 1

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SW 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lots 2 and 4 of Block 1 of *RUSTY SPUR RANCHETTES* as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 53°04'47" W a distance of 1808.25 feet to the POINT OF BEGINNING;

Thence N 88°42'57" W a distance of 212.05 feet to a point;

Thence N 1°17'03" E a distance of 31.00 feet to a point;

Thence S 88°42'57" E a distance of 110.00 feet to a point;

Thence N 1°17'03" E a distance of 75.00 feet to a point;

Thence S 88°42'57" E a distance of 97.38 feet to a point;

Thence S 1°17'03" W a distance of 25.00 feet to a point;

Thence S 4°02'54" E a distance of 50.22 feet to a point;

Thence S 1°17'03" W a distance of 31.00 feet to the POINT OF BEGINNING.

This parcel contains 13,994 square feet (0.321 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

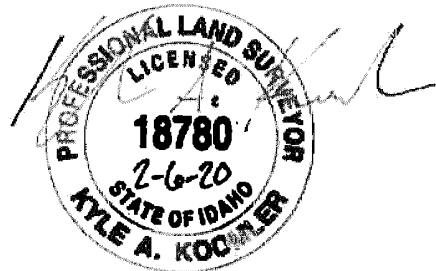
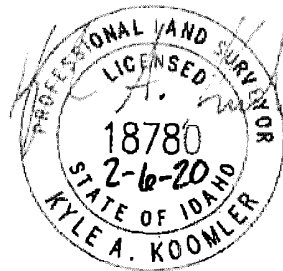
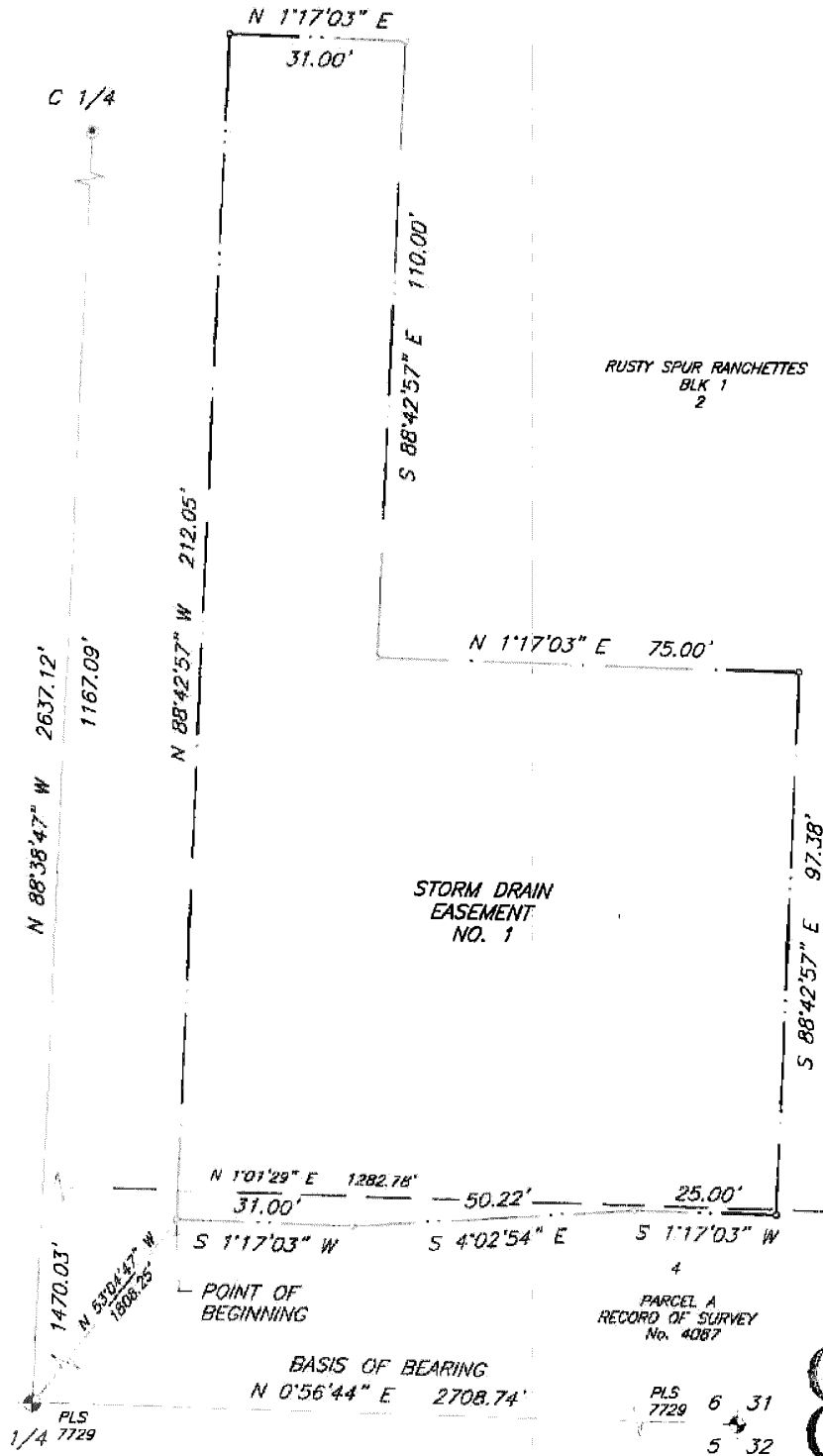


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO



SCALE: 1"=30'



CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312

EXHIBIT A

STORM DRAIN EASMENT NO. 2

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SW 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lots 2 and 4 of Block 1 of *RUSTY SPUR RANCHETTES* as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 60°35'17" W a distance of 1651.42 feet to the POINT OF BEGINNING;

Thence N 88°42'57" W a distance of 184.57 feet to a point;

Thence N 1°17'03" E a distance of 26.00 feet to a point;

Thence S 88°42'57" E a distance of 79.99 feet to a point;

Thence N 1°17'03" E a distance of 75.00 feet to a point;

Thence S 88°42'57" E a distance of 91.35 feet to a point;

Thence S 1°17'03" W a distance of 25.00 feet to a point;

Thence S 13°32'49" E a distance of 51.72 feet to a point;

Thence S 1°17'03" W a distance of 26.00 feet to the POINT OF BEGINNING.

This parcel contains 11,981 square feet (0.275 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

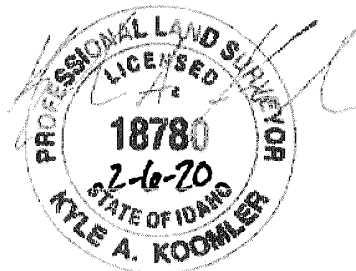


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO

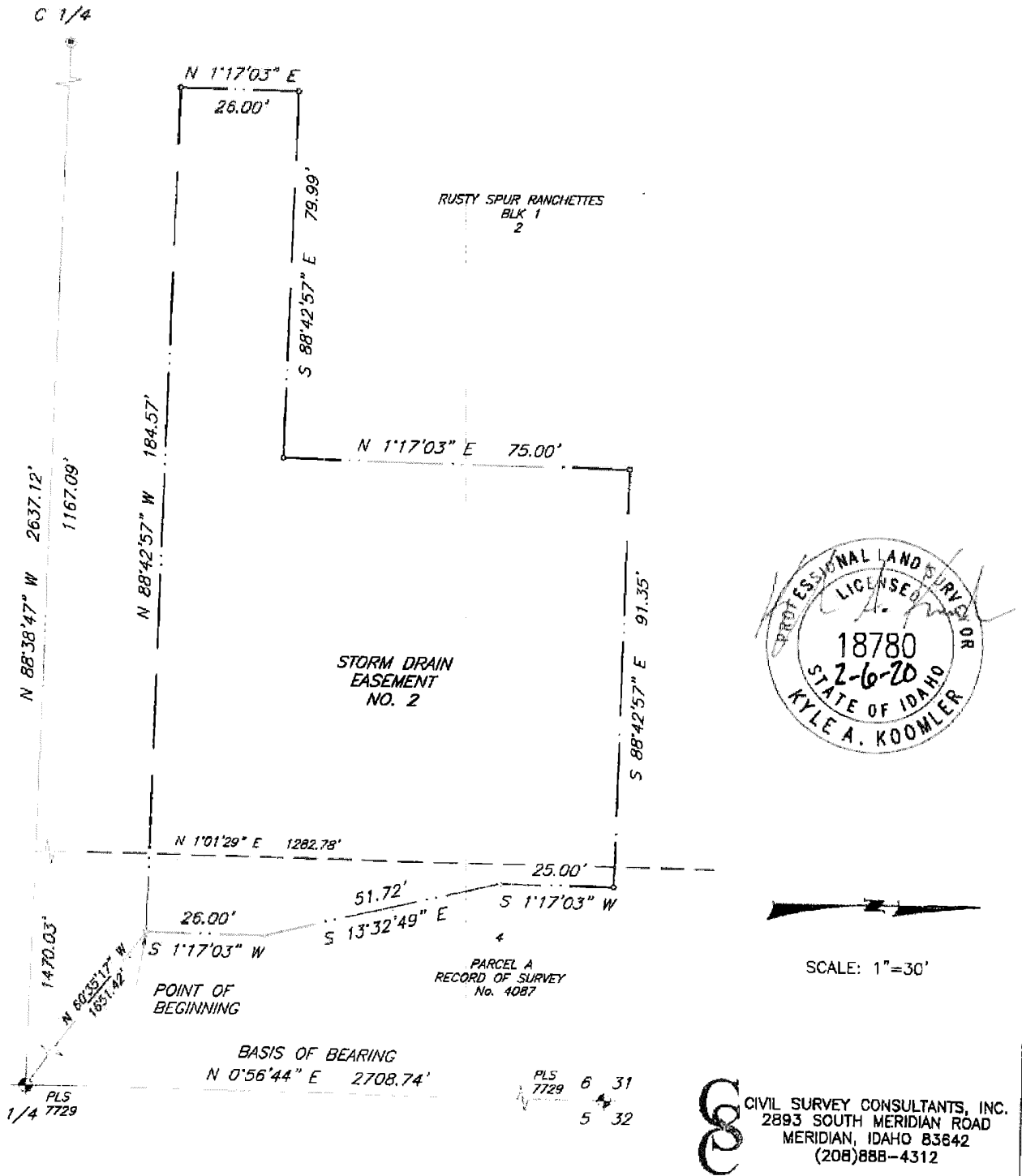


EXHIBIT A
STORM DRAIN EASEMENT NO. 3

FOR
GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SW 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lots 2 and 4 of Block 1 of *RUSTY SPUR RANCHETTES* as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 67°05'32" W a distance of 1572.39 feet to the POINT OF BEGINNING;

Thence N 66°00'55" W a distance of 183.62 feet to a point;

Thence N 18°04'07" E a distance of 44.12 feet to a point;

Thence S 88°42'57" E a distance of 212.00 feet to a point;

Thence S 43°54'18" E a distance of 31.53 feet to a point;

Thence S 46°05'42" W a distance of 22.91 feet to a point;

Thence a distance of 96.89 feet along the arc of a 525.00 foot radius curve left, said curve having a central angle of 10°34'26" and a long chord bearing S 40°48'29" W a distance of 96.75 feet to the POINT OF BEGINNING.

This parcel contains 17,652 square feet (0.405 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

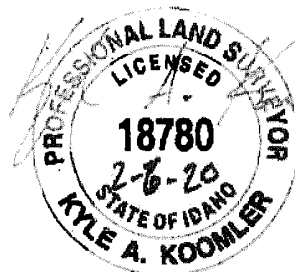
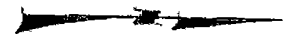
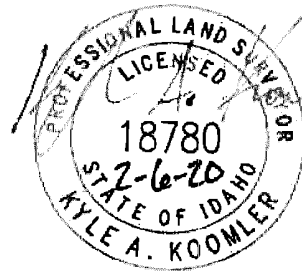
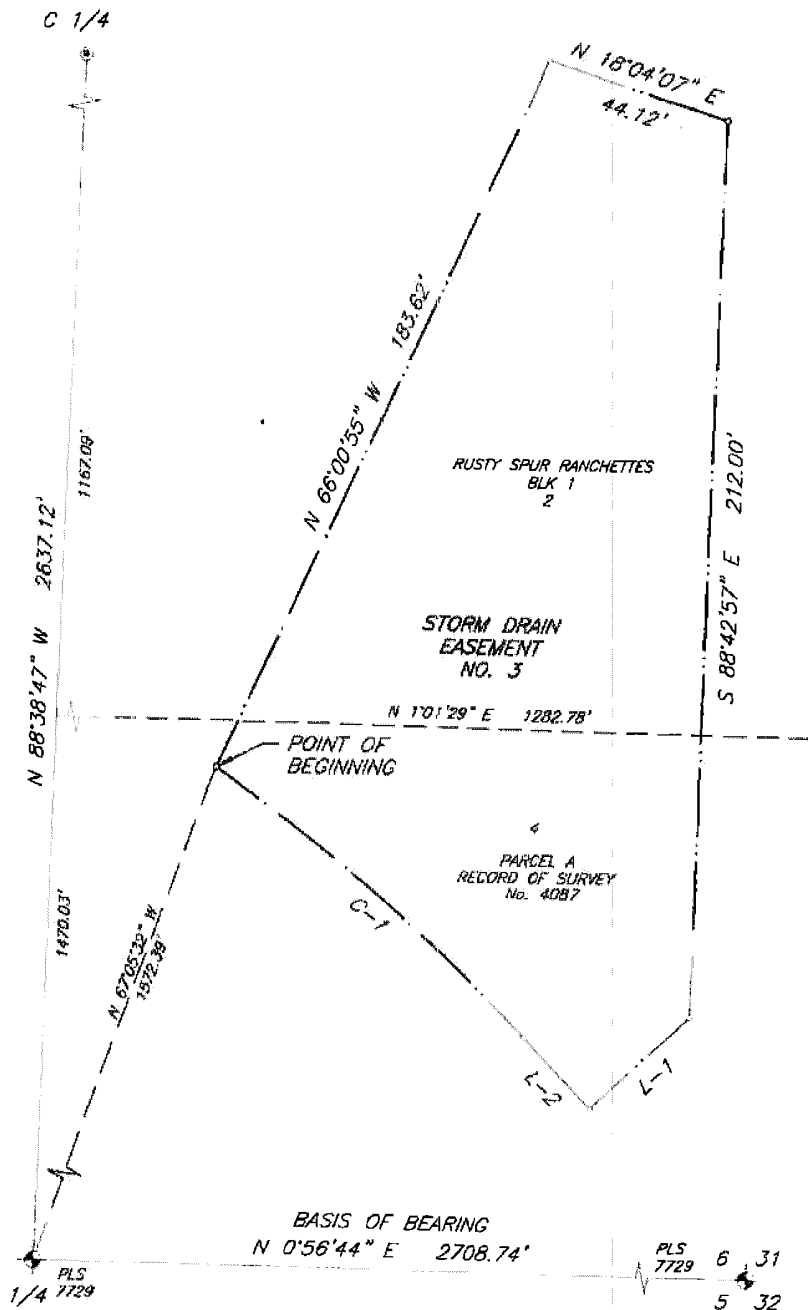


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO



SCALE: 1"=40'



CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312

LINE DATA		
LINE	BEARING	DISTANCE
L-1	S 43°54'18" E	31.53'
L-2	S 46°05'42" W	22.91'

CURVE DATA						
CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD	CHORD BRNG.
C-1	10°34'26"	525.00	96.89	48.58	98.75	S 40°48'29" W

EXHIBIT A

STORM DRAIN EASMENT NO. 4

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SW 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lot 2 of Block 1 of *RUSTY SPUR RANCHETTES* as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 73°51'14" W a distance of 1624.45 feet to the POINT OF BEGINNING;

Thence N 66°00'55" W a distance of 107.00 feet to a point;

Thence N 23°59'05" E a distance of 27.00 feet to a point;

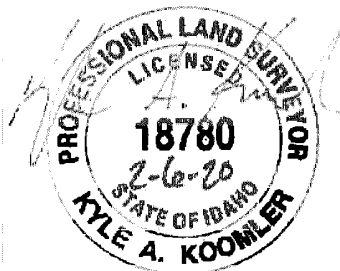
Thence S 66°00'55" E a distance of 82.00 feet to a point;

Thence N 50°32'59" E a distance of 55.90 feet to a point;

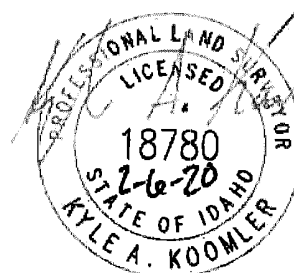
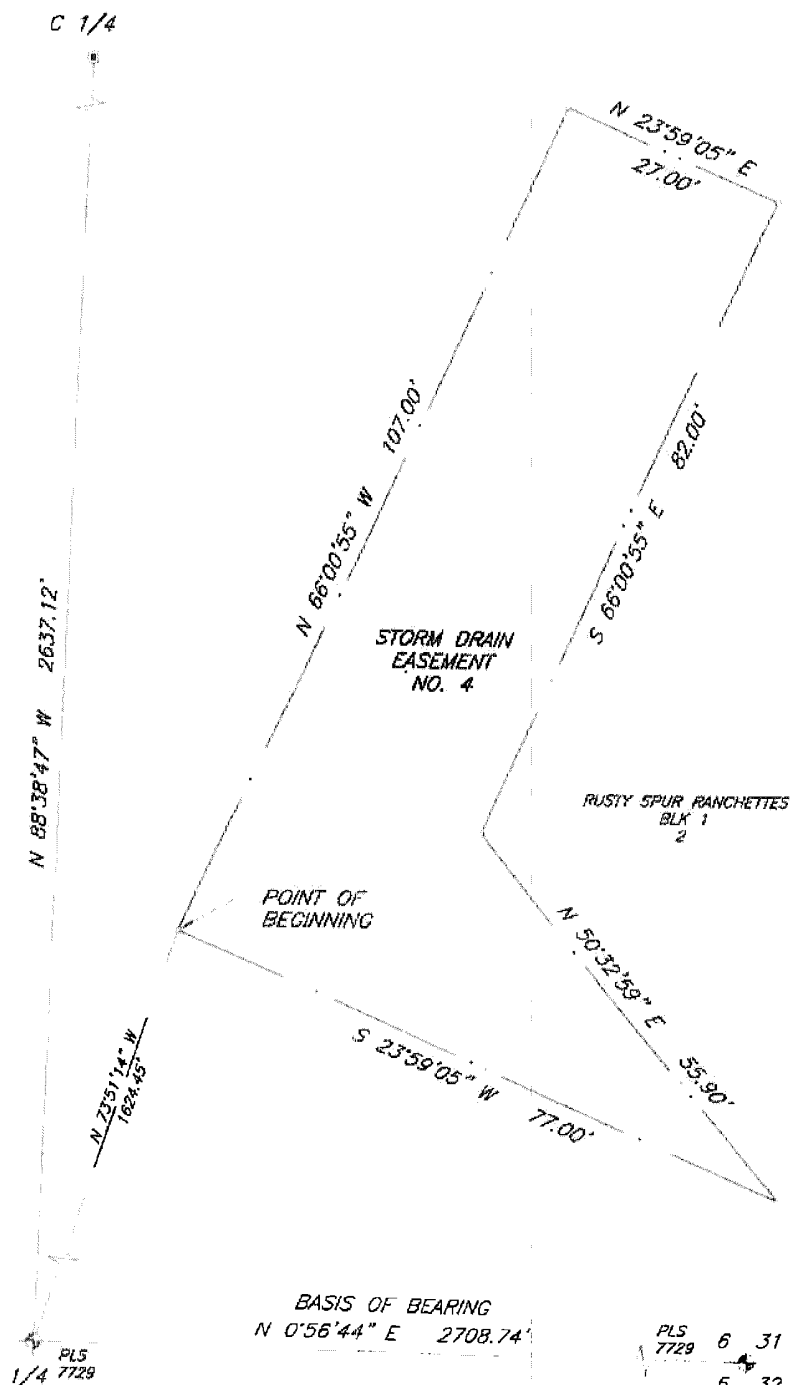
Thence S 23°59'05" W a distance of 77.00 feet to the POINT OF BEGINNING.

This parcel contains 3,514 square feet (0.081 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020



SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO



SCALE: 1"=20'

8

CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312

TEMPORARY STORM WATER DRAINAGE EASEMENT

This Storm Water drainage Easement ("Easement") is made as of the 5 day of March, 2020 by and between Tucker M Johnson, Property Owner, and Ada County Highway District, a body corporate and politic of the State of Idaho (hereinafter "ACHD");

WITNESSETH:

For good and sufficient consideration it is agreed:

Section 1. Recitals.

1.1 Grantor owns the parcel of real property located in Ada County, Idaho, more particularly described and depicted on Exhibit "A" attached hereto (the "Servient Estate").

1.2 Grantor is developing a subdivision in Ada County, known as the Greiner Hope Springs Subdivision No 1 and the preliminary plat of the first phase of such subdivision has been approved by ACHD. When the final plat is approved by ACHD and recorded, a public right-of-way for streets and related improvements, including drainage easements will be dedicated to ACHD. When the streets and related improvements are constructed by the Grantor in the right-of-way, and ACHD has accepted the same, they will become a part of the ACHD system of highways.

1.3 The storm water drainage system related to the platted streets to be dedicated to ACHD when the plat referred to in Section 1.2 is recorded will extend beyond the plat and on, over and across the Servient Estate as a temporary storm water drainage system ("Temporary Facility"), to be replaced with a permanent storm water drainage system ("Permanent Facility") with the development of the Servient Estate, and on the terms and conditions hereinafter set forth the Grantor desires to grant to ACHD, and ACHD desires to accept, an easement for storm water drainage on, over, under and across the Servient Estate, and for the repair, maintenance, reconstruction, and enhancement thereof.

Section 2. Grant of Easement

2.1 For the period and on the terms and conditions hereinafter set forth, Grantor hereby grants to ACHD an easement and right-of-way for storm water drainage from the ACHD system of highways on, under, over and across the

Servient Estate, and for the repair, maintenance, reconstruction and enhancement of the same (hereafter "Authorized Use")

2.2 The easement herein granted is exclusive to ACHD, and no structures, fences or other improvements are to be constructed, or landscaping planted, on the Servient Estate by Grantor or Grantor's successors or assigns to the underlying title thereto without the prior written consent of ACHD. Such consent will not be given if, in its sole discretion, ACHD determines the proposed improvement and/or landscaping may interfere with ACHD's Authorized Use of the Servient Estate. When such consent is given, if any structures, fences, landscaping or other improvements constructed or planted on the Servient Estate must be removed in order for ACHD to undertake any Authorized Use of the Servient Estate, the costs of removal and replacement or restoration of the same shall be the obligation of Grantor.

Section 3. Construction; Acceptance; Repair and Maintenance; Grantor Indemnification; Contractor Warranties.

3.1 At Grantor's sole cost and expense, Grantor shall construct and install the Temporary Facility on the Servient Estate in accordance with designs, plans and specifications approved by ACHD in advance, in writing. During construction, Grantor shall give ACHD reasonable notice and opportunity to inspect the same.

3.2 When, by written notice given Grantor, ACHD has accepted the Temporary Facility on the Servient Estate as constructed and installed by Grantor; Grantor shall maintain and repair the Temporary Facility thereafter, at its sole cost and expense for the term of this Easement.

3.3 Grantor shall enforce for the benefit of ACHD any warranties for the construction and installation of the Temporary Facility.

3.4 Grantor shall indemnify and save and hold harmless ACHD, its Commissioners and employees, from and against all claims, actions or judgments for damages, injury or death caused by or arising out of the failure or neglect of Grantor to properly construct, install, maintain and repair the Temporary Facility on the Servient Estate.

Section 4. Grantor Indemnification.

Following ACHD's acceptance of the Temporary Facility as constructed by Grantor, Grantor shall indemnify and hold harmless ACHD from and against all claims, actions or judgments for damages, injury or death caused by or arising out of Grantor's failure or neglect to maintain and repair the Temporary Facility on the Servient Estate for the term of this Easement.

Section 5. Term.

The term of this Easement shall commence upon the date of the recording thereof, and continue in full force and effect until: (i) Grantor records a final subdivision plat covering the Servient Estate which includes a dedication of an easement to ACHD serving the same purpose as this Easement, and (ii) ACHD has accepted for maintenance a Permanent Facility on the Servient Estate as constructed and installed by the Grantor. Upon the occurrence of such events; on request of Grantor, ACHD will execute and deliver to Grantor a release of this Easement.

Section 6. Covenants Run with the Land.

Throughout the term of this Easement, it shall be a burden upon the Servient Estate and shall be appurtenant to and for the benefit of the ACHD system of highways, and shall run with the land.

Section 7. Attorneys Fees and Costs.

In any suit, action or appeal therefrom to enforce or interpret this Easement, the prevailing party shall be entitled to recover its costs incurred therein, including reasonable attorneys' fees.

Section 8. Exhibits.

All exhibits attached hereto and the recitals contained herein are incorporated as if set forth in full herein.

Section 9. Modification.

This Easement may not be amended in whole or in part except by written instrument, duly executed and acknowledged by the parties hereto, and recorded.

Section 10. Notices.

All notices given pursuant to this Easement shall be in writing and shall be given by personal delivery, by United States Mail Certified, Return Receipt Requested, or other established express delivery service (such as Federal Express), postage or delivery charge prepaid, addressed to the appropriate party at the address set forth below:

Grantor: Tucker M Johnson
372 S Eagle Road, Ste 328
Eagle, Idaho 83616

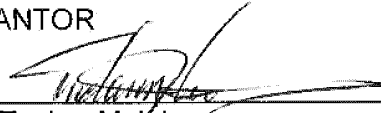
ACHD: Ada County Highway District
3775 N Adams Street
Garden City, Idaho 83714

Section 11. Recordation.

This Easement shall be recorded in the Real Property Records of Ada County, Idaho.

IN WITNESS WHEREOF, the undersigned have cause this Easement to be executed the day and year first set forth above.

GRANTOR

A handwritten signature in black ink, appearing to read 'Tucker M. Johnson', is written over a horizontal line.

By: Tucker M. Johnson
Its: Property Owner

STATE OF IDAHO)
) ss.
County of Ada)

This record was acknowledged before me on March 5,
2020

[date]

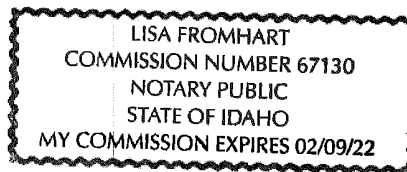
by Tucker M. Johnson
[name(s) of individual(s)]

as Property Owner
[type of authority, such as officer or trustee]

of Green Village 2 Development Inc.
[name of party on behalf of whom record was executed]

Lisa Fromhart

Signature of notary public



My commission expires: 2/09/22

EXHIBIT LIST

Exhibit "A". Legal description of Servient Estate.

The Ada County Highway District (ACHD) is committed to compliance with Title VI of the Civil Rights Act of 1964 and related regulations and directives. ACHD assures that no person shall on the grounds of race, color, national origin, gender, disability or age, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any ACHD service, program or activity.

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

EXHIBIT A

STORM DRAIN EASMENT NO. 5

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SE 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lots 5 and 6 of Block 1 of *RUSTY SPUR RANCHETTES SUBDIVISION NO. 2* as shown in Book 64 of Plats at Page 6556 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 52°58'41" W a distance of 1249.82 feet to the POINT OF BEGINNING;

Thence N 36°11'37" W a distance of 35.24 feet to a point;

Thence N 53°48'23" E a distance of 182.01 feet to a point;

Thence S 36°11'37" E a distance of 12.25 feet to a point;

Thence N 56°58'05" E a distance of 48.43 feet to a point;

Thence S 33°01'55" E a distance of 20.35 feet to a point;

Thence S 53°48'23" W a distance of 229.25 feet to the POINT OF BEGINNING.

This parcel contains 7,450 square feet (0.171 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

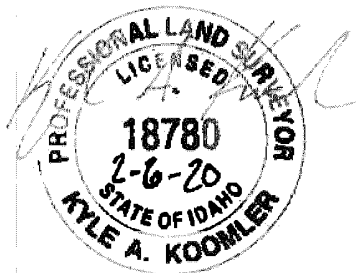
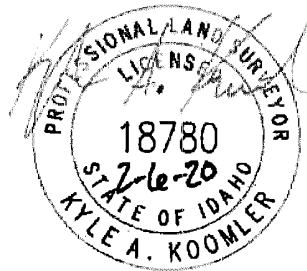
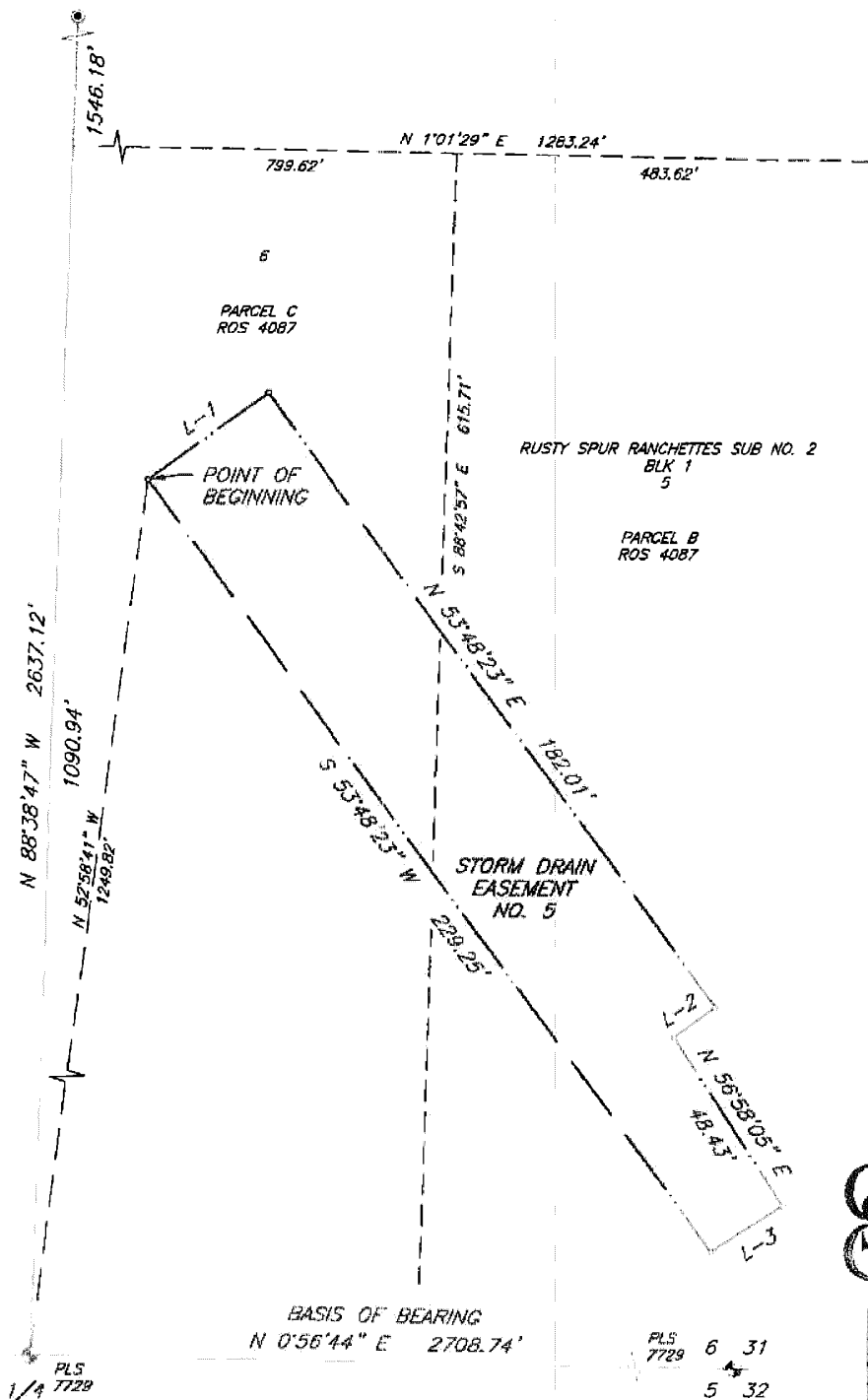


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO

C 1/4



SCALE: 1"=40'



CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)868-4312

LINE DATA

LINE	BEARING	DISTANCE
L-1	N 36°11'37" W	35.24'
L-2	S 36°11'37" E	12.25'
L-3	S 33°01'55" E	20.35'

TEMPORARY STORM WATER DRAINAGE EASEMENT

This Storm Water drainage Easement ("Easement") is made as of the 5 day of March, 2020 by and between Tucker M Johnson, Property Owner, and Ada County Highway District, a body corporate and politic of the State of Idaho (hereinafter "ACHD");

WITNESSETH:

For good and sufficient consideration it is agreed:

Section 1. Recitals.

1.1 Grantor owns the parcel of real property located in Ada County, Idaho, more particularly described and depicted on Exhibit "A" attached hereto (the "Servient Estate").

1.2 Grantor is developing a subdivision in Ada County, known as the Greiner Hope Springs Subdivision No 1 and the preliminary plat of the first phase of such subdivision has been approved by ACHD. When the final plat is approved by ACHD and recorded, a public right-of-way for streets and related improvements, including drainage easements will be dedicated to ACHD. When the streets and related improvements are constructed by the Grantor in the right-of-way, and ACHD has accepted the same, they will become a part of the ACHD system of highways.

1.3 The storm water drainage system related to the platted streets to be dedicated to ACHD when the plat referred to in Section 1.2 is recorded will extend beyond the plat and on, over and across the Servient Estate as a temporary storm water drainage system ("Temporary Facility"), to be replaced with a permanent storm water drainage system ("Permanent Facility") with the development of the Servient Estate, and on the terms and conditions hereinafter set forth the Grantor desires to grant to ACHD, and ACHD desires to accept, an easement for storm water drainage on, over, under and across the Servient Estate, and for the repair, maintenance, reconstruction, and enhancement thereof.

Section 2. Grant of Easement

2.1 For the period and on the terms and conditions hereinafter set forth, Grantor hereby grants to ACHD an easement and right-of-way for storm water drainage from the ACHD system of highways on, under, over and across the

Servient Estate, and for the repair, maintenance, reconstruction and enhancement of the same (hereafter "Authorized Use")

2.2 The easement herein granted is exclusive to ACHD, and no structures, fences or other improvements are to be constructed, or landscaping planted, on the Servient Estate by Grantor or Grantor's successors or assigns to the underlying title thereto without the prior written consent of ACHD. Such consent will not be given if, in its sole discretion, ACHD determines the proposed improvement and/or landscaping may interfere with ACHD's Authorized Use of the Servient Estate. When such consent is given, if any structures, fences, landscaping or other improvements constructed or planted on the Servient Estate must be removed in order for ACHD to undertake any Authorized Use of the Servient Estate, the costs of removal and replacement or restoration of the same shall be the obligation of Grantor.

Section 3. Construction; Acceptance; Repair and Maintenance; Grantor Indemnification; Contractor Warranties.

3.1 At Grantor's sole cost and expense, Grantor shall construct and install the Temporary Facility on the Servient Estate in accordance with designs, plans and specifications approved by ACHD in advance, in writing. During construction, Grantor shall give ACHD reasonable notice and opportunity to inspect the same.

3.2 When, by written notice given Grantor, ACHD has accepted the Temporary Facility on the Servient Estate as constructed and installed by Grantor, Grantor shall maintain and repair the Temporary Facility thereafter, at its sole cost and expense for the term of this Easement.

3.3 Grantor shall enforce for the benefit of ACHD any warranties for the construction and installation of the Temporary Facility.

3.4 Grantor shall indemnify and save and hold harmless ACHD, its Commissioners and employees, from and against all claims, actions or judgments for damages, injury or death caused by or arising out of the failure or neglect of Grantor to properly construct, install, maintain and repair the Temporary Facility on the Servient Estate.

Section 4. Grantor Indemnification.

Following ACHD's acceptance of the Temporary Facility as constructed by Grantor, Grantor shall indemnify and hold harmless ACHD from and against all claims, actions or judgments for damages, injury or death caused by or arising out of Grantor's failure or neglect to maintain and repair the Temporary Facility on the Servient Estate for the term of this Easement.

Section 5. Term.

The term of this Easement shall commence upon the date of the recording thereof, and continue in full force and effect until: (i) Grantor records a final subdivision plat covering the Servient Estate which includes a dedication of an easement to ACHD serving the same purpose as this Easement, and (ii) ACHD has accepted for maintenance a Permanent Facility on the Servient Estate as constructed and installed by the Grantor. Upon the occurrence of such events; on request of Grantor, ACHD will execute and deliver to Grantor a release of this Easement.

Section 6. Covenants Run with the Land.

Throughout the term of this Easement, it shall be a burden upon the Servient Estate and shall be appurtenant to and for the benefit of the ACHD system of highways, and shall run with the land.

Section 7. Attorneys Fees and Costs.

In any suit, action or appeal therefrom to enforce or interpret this Easement, the prevailing party shall be entitled to recover its costs incurred therein, including reasonable attorneys' fees.

Section 8. Exhibits.

All exhibits attached hereto and the recitals contained herein are incorporated as if set forth in full herein.

Section 9. Modification.

This Easement may not be amended in whole or in part except by written instrument, duly executed and acknowledged by the parties hereto, and recorded.

Section 10. Notices.

All notices given pursuant to this Easement shall be in writing and shall be given by personal delivery, by United States Mail Certified, Return Receipt Requested, or other established express delivery service (such as Federal Express), postage or delivery charge prepaid, addressed to the appropriate party at the address set forth below:

Grantor: Tucker M Johnson
372 S Eagle Road, Ste 328
Eagle, Idaho 83616

ACHD: Ada County Highway District
3775 N Adams Street
Garden City, Idaho 83714

Section 11. Recordation.

This Easement shall be recorded in the Real Property Records of Ada County, Idaho.

IN WITNESS WHEREOF, the undersigned have cause this Easement to be executed the day and year first set forth above.

GRANTOR



By: Tucker M Johnson
Its: Property Owner

STATE OF IDAHO)
) ss.
County of Ada)

This record was acknowledged before me on March 5,
2020

by Tucker M Johnson [date]
[name(s) of individual(s)]

as Property Owner
[type of authority, such as officer or trustee]

of Green Village 2 Development Inc.
[name of party on behalf of whom record was executed]

Lisa Fromhart
Signature of notary public



My commission expires: 2/09/22

EXHIBIT LIST

Exhibit "A". Legal description of Servient Estate.

The Ada County Highway District (ACHD) is committed to compliance with Title VI of the Civil Rights Act of 1964 and related regulations and directives. ACHD assures that no person shall on the grounds of race, color, national origin, gender, disability or age, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any ACHD service, program or activity.

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

EXHIBIT A

STORM DRAIN EASMENT NO. 6

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SE 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of *PARCEL B* as shown on Record of Survey No. 4087 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 24°18'58" W a distance of 1156.32 feet to the POINT OF BEGINNING;

Thence S 82°17'14" W a distance of 148.11 feet to a point;

Thence N 18°42'29" W a distance of 46.19 feet to a point;

Thence N 1°15'15" E a distance of 59.81 feet to a point on the southerly boundary of said *PARCEL B*;

Thence S 88°44'45" E along said southerly boundary a distance of 91.65 feet to a 1/2 inch diameter iron pin marking the southeasterly corner of said *PARCEL B*;

Thence leaving said *PARCEL B* boundary S 2°46'44" E a distance of 54.64 feet to a point;

Thence N 89°44'17" E a distance of 65.92 feet to a point;

Thence S 0°10'29" E a distance of 27.39 feet to the POINT OF BEGINNING.

This parcel contains 11,015 square feet (0.253 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

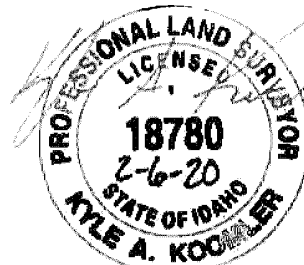
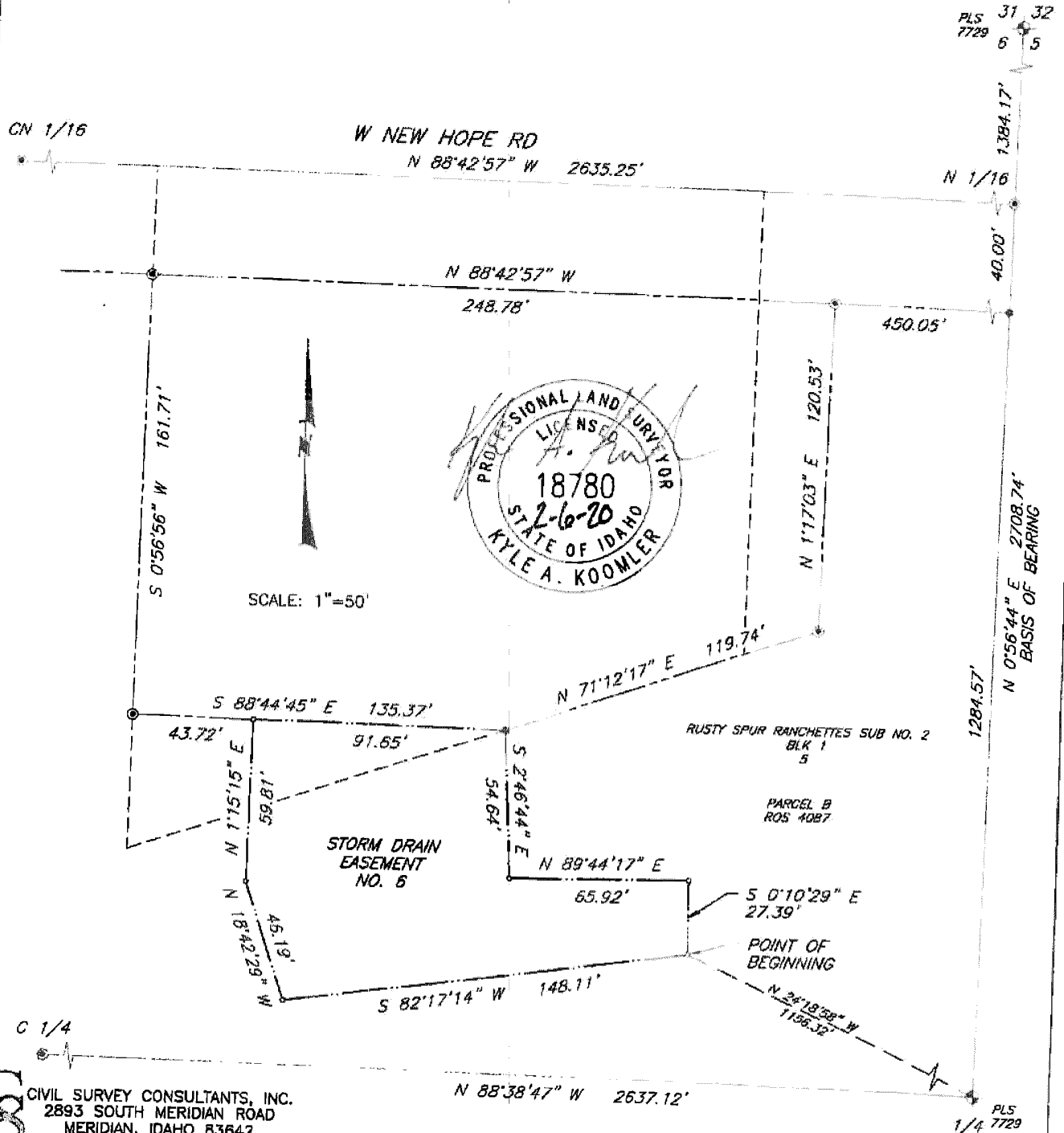


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO



**STORM WATER OPERATIONS AND MAINTENANCE MANUAL
FOR
GREINERS HOPE SPRINGS SUBDIVISION**