

GREINERS HOPE SPRINGS SUBDIVISION No. 3

LOCATED IN THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 14 EAST, 10TH MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO AND BEING A REPEAT OF A PART OF LOT 4 OF BLOCK 1 OF RUSTY SPUR RANCHETTES AND A PART OF LOTS 5, 6, AND 9 OF BLOCK 1 OF RUSTY SPUR RANCHETTES NO. 2

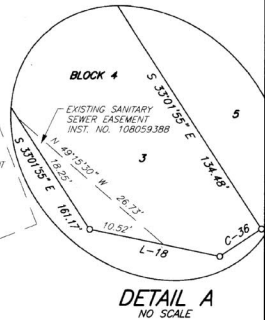
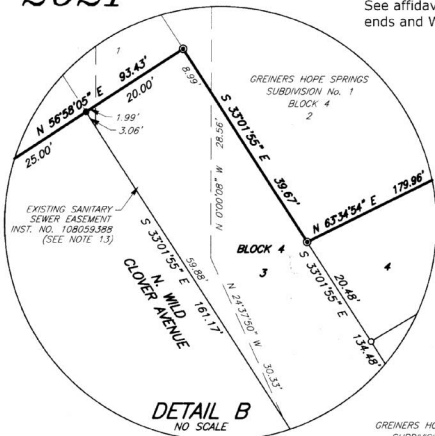
A DEVELOPMENT BY GREEN VILLAGE 3 DEVELOPMENT, LLC

2021

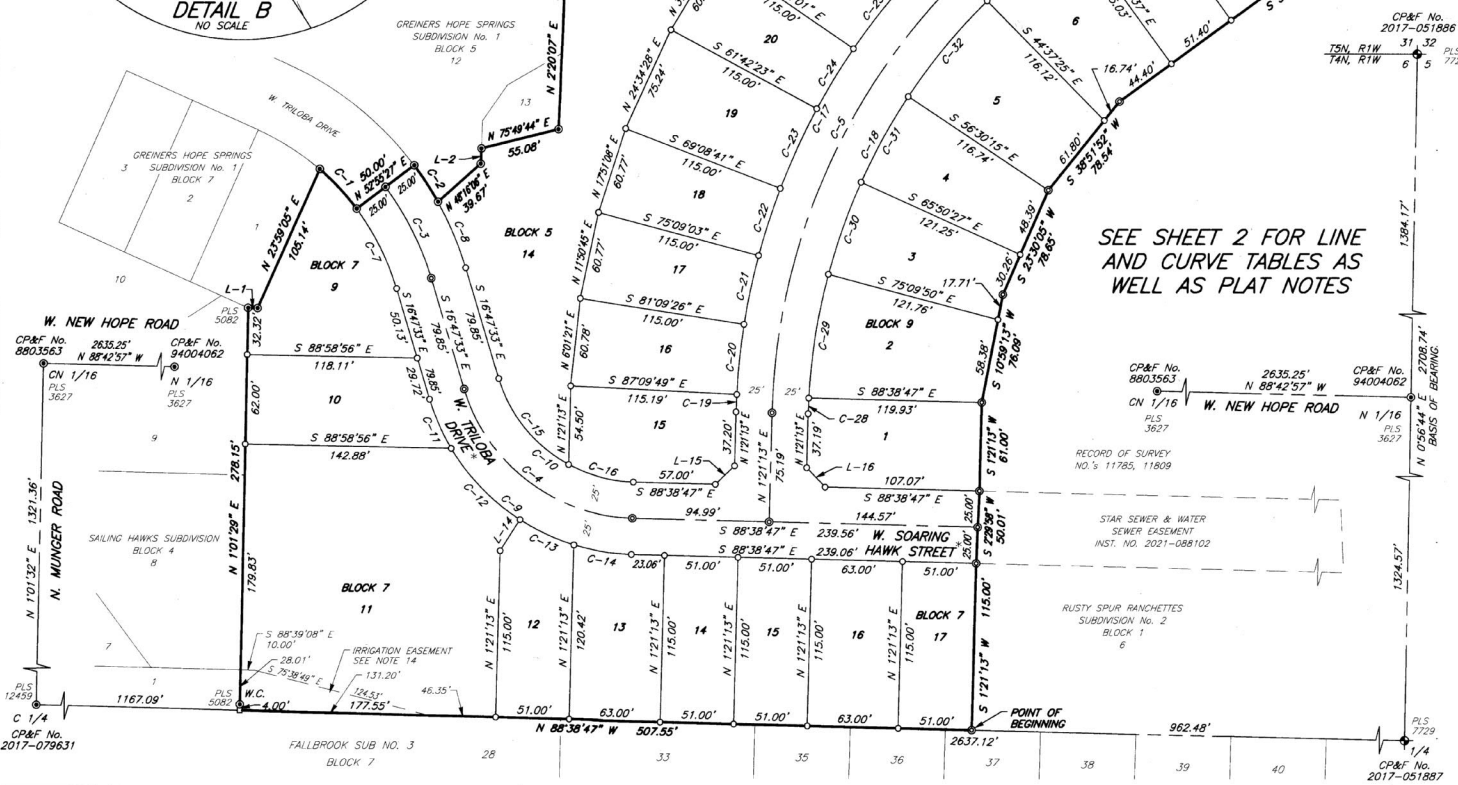
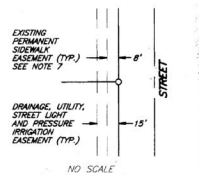
* 2021144788

See affidavit for clarification on where W Triloba Drive ends and W Soaring Hawk St begins

GREINERS HOPE SPRINGS SUBDIVISION No. 1 BLOCK 5



STREET EASEMENT DETAIL



SEE SHEET 2 FOR LINE AND CURVE TABLES AS WELL AS PLAT NOTES



LEGEND

- SUBDIVISION BOUNDARY
- SET 5/8"x24" IRON PIN WITH PLS 18780 PLASTIC CAP
- FOUND 5/8" IRON PIN WITH PLS 18780 PLASTIC CAP OR AS NOTED
- FOUND 1/2" IRON PIN WITH PLS 18780 PLASTIC CAP OR AS NOTED
- FOUND ALUMINUM CAP MONUMENT
- SET 1/2"x24" IRON PIN WITH PLS 18780 PLASTIC CAP
- CALCULATED POINT, NOTHING SET
- W.C. WITNESS CORNER
- SECTION LINE
- STREET CENTERLINE
- LOT LINE
- EXISTING LOT LINE
- EASEMENT LINE



CIVIL SURVEY CONSULTANTS, INC.

2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 888-4312

GREINERS HOPE SPRINGS SUBDIVISION NO. 3

* 2021142401

Note 8 should also include Lot 4 Block 4 as a landscape common lot

LINE DATA		
LINE	BEARING	DISTANCE
L-1	S 88°58'31" E	8.80'
L-2	N 2°15'52" E	10.55'
L-3	N 33°39'22" W	12.56'
L-4	N 46°53'06" E	38.00'
L-5	N 47°08'58" E	49.59'
L-6	N 48°40'39" E	49.59'
L-7	N 50°12'19" E	49.59'
L-8	N 51°44'00" E	49.59'
L-9	N 52°40'09" E	49.65'
L-10	S 36°11'37" E	12.25'
L-11	S 71°15'17" E	25.58'
L-12	S 60°51'03" W	35.71'
L-13	S 64°12'24" W	28.01'
L-14	N 32°34'52" E	25.41'
L-15	N 46°21'13" E	18.37'
L-16	N 43°38'47" W	18.38'
L-17	S 10°23'14" W	17.89'
L-18	S 78°15'08" E	18.46'
L-19	S 49°15'30" E	8.02'

NOTES

1. THE DEVELOPMENT OF THIS PROPERTY SHALL BE IN COMPLIANCE WITH THE ZONING ORDINANCE OR AS SPECIFICALLY APPROVED BY FILE NO. A2-19-05/DA-19-06/PP-19-03.
2. ALL LOTS HAVE A 15 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE, PRESSURE IRRIGATION AND STREET LIGHT PURPOSES CONTIGUOUS TO ALL PUBLIC STREETS. ALL SIDE LOT LINES HAVE A 5 FOOT WIDE EASEMENT ON EACH SIDE FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURE IRRIGATION PURPOSES. ALL REAR LOT LINES HAVE A 10 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION, INC.. ALL OTHER EASEMENTS ARE AS SHOWN.
3. MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF STAR APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR AS SPECIFICALLY APPROVED AND/OR REQUIRED, OR AS SHOWN ON THIS PLAT.
4. BUILDING AND OCCUPANCY SHALL CONFORM TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS (CC&R's) RECORDED AS INSTRUMENT NO. 2020-107706, OFFICIAL RECORDS OF ADA COUNTY, AS WELL AS ANY FUTURE AMENDMENTS.
5. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
6. THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
7. LOTS ABUTTING PUBLIC RIGHT-OF-WAY ARE SUBJECT TO AN EXISTING PERMANENT SIDEWALK EASEMENT CONTIGUOUS TO ALL STREETS AS DESCRIBED IN INST. NO. 2021-138509.
8. LOT 3 OF BLOCK 4, LOTS 14 AND 28 OF BLOCK 5, LOT 11 OF BLOCK 7 AND LOT 12 OF BLOCK 9 ARE LANDSCAPE COMMON LOTS WHICH SHALL BE OWNED AND MAINTAINED BY THE HOPE SPRINGS OWNERS ASSOCIATION, INC.. SAID LOTS ARE SUBJECT TO A BLANKET EASEMENT FOR PUBLIC UTILITIES, DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION, INC..
9. GREINERS HOPE SPRINGS SUBDIVISION NO. 3 IS SUBJECT TO A TEMPORARY LICENSE AGREEMENT WITH ACHD FOR LANDSCAPING AS DESCRIBED IN INSTRUMENT NO. 2021-094779.
10. DIRECT LOT ACCESS TO N. WILD CLOVER AVENUE IS PROHIBITED.
11. LOT 14 OF BLOCK 5 AND LOT 11 OF BLOCK 7 ARE SERVIENT TO AND CONTAIN THE ACHD STORM WATER DRAINAGE SYSTEM. THESE LOTS ARE ENCUMBERED BY THE FIRST AMENDED MASTER PERPETUAL STORM WATER DRAINAGE EASEMENT RECORDED ON NOVEMBER 10, 2015 AS INSTRUMENT NO. 2015-103256, OFFICIAL RECORDS OF ADA COUNTY AND INCORPORATED HEREIN BY THIS REFERENCE AS IF SET FORTH IN FULL (THE "MASTER EASEMENT"). THE MASTER EASEMENT AND THE STORM WATER DRAINAGE SYSTEM IS DEDICATED TO ACHD PURSUANT TO SECTION 40-2302 IDAHO CODE. THE MASTER EASEMENT IS FOR THE OPERATION AND MAINTENANCE OF THE STORM WATER DRAINAGE SYSTEM. SAID LOTS ARE COMMON LOTS AND WILL BE OWNED AND MAINTAINED BY THE HOPE SPRINGS OWNERS ASSOCIATION, INC..
12. EASEMENTS AS PLATTED BY RUSTY SPUR RANCHETTES AND BY RUSTY SPUR RANCHETTES NO. 2 THAT ARE WITHIN THE BOUNDS OF GREINERS HOPE SPRINGS SUBDIVISION NO. 3 HAVE BEEN VACATED BY THE CITY OF STAR AND BY THE RELEVANT UTILITY COMPANIES. SEE STAR VACATION FILE NO. VAC-20-01. ANY OTHER EXISTING EASEMENTS ARE SHOWN HEREON.
13. LOT 3 OF BLOCK 4 AND LOT 12 OF BLOCK 9 ARE SUBJECT TO AN EXISTING SANITARY SEWER EASEMENT PER INSTRUMENT NO. 108059388. SEE DETAIL A AND B ON SHEET 1.
14. LOT 11 OF BLOCK 7 IS SUBJECT TO A GRAVITY IRRIGATION EASEMENT HEREBY RESERVED FOR THE FOOTHILL DITCH FOR THE BENEFIT OF MIDDLETON IRRIGATION ASSOCIATION AND MIDDLETON MILL DITCH COMPANY AND THE FARMERS UNION DITCH COMPANY, OR ITS ASSIGNS, AND IS SHOWN HEREON. REFERENCE LICENSE AGREEMENT RECORDED AS INSTRUMENT NO. 2020-048430.

CURVE DATA

CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD	CHORD BRNG.
C-1	12°20'33"	175.00	37.70	18.92	37.63	S 43°14'50" E
C-2	7°40'39"	225.00	30.15	15.10	30.13	S 33°14'11" E
C-3	20°17'00"	200.00	70.80	35.78	70.43	S 26°56'03" E
C-4	71°51'14"	125.00	156.76	90.57	146.69	S 52°43'10" E
C-5	52°27'10"	440.00	402.81	216.76	388.89	N 27°34'48" E
C-6	15°51'56"	806.72	223.39	112.41	222.67	N 61°44'21" E
C-7	20°17'00"	175.00	61.95	31.30	61.63	S 28°56'03" E
C-8	12°36'21"	225.00	49.50	24.85	49.40	S 23°05'44" E
C-9	71°51'14"	150.00	188.11	108.69	176.03	S 52°43'10" E
C-10	71°51'14"	100.00	125.41	72.46	117.35	S 52°43'10" E
C-11	14°14'04"	150.00	37.27	18.73	37.17	S 23°54'35" E
C-12	26°23'30"	150.00	69.09	35.17	68.48	S 44°13'23" E
C-13	15°42'05"	150.00	41.32	20.79	41.19	S 65°18'40" E
C-14	15°26'35"	150.00	40.43	20.34	40.31	S 80°55'30" E
C-15	45°06'08"	100.00	78.72	41.53	76.70	S 39°20'37" E
C-16	26°45'06"	100.00	46.69	23.78	46.27	S 75°16'14" E
C-17	52°27'10"	465.00	425.69	229.07	410.98	N 27°34'48" E
C-18	52°27'10"	415.00	379.92	204.44	366.79	N 27°34'48" E
C-19	1°28'58"	465.00	12.03	6.02	12.03	N 2°05'42" E
C-20	6°00'23"	465.00	48.75	24.40	48.72	N 5°50'23" E
C-21	6°00'23"	465.00	48.75	24.40	48.72	N 11°50'45" E
C-22	6°00'23"	465.00	48.75	24.40	48.72	N 17°51'08" E
C-23	7°28'17"	465.00	60.37	30.23	60.39	N 24°34'28" E
C-24	6°00'23"	465.00	48.75	24.40	48.72	N 31°17'48" E
C-25	7°26'17"	465.00	60.37	30.23	60.39	N 38°01'08" E
C-26	6°00'23"	465.00	48.75	24.40	48.72	N 44°44'28" E
C-27	6°03'43"	465.00	49.20	24.62	49.17	N 50°46'31" E
C-28	1°29'36"	415.00	10.82	5.41	10.82	N 2°06'01" E
C-29	11°59'21"	86.84	43.58	26.68	86.68	N 8°50'29" E
C-30	9°19'23"	415.00	67.53	33.84	67.45	N 19°29'51" E
C-31	9°20'12"	415.00	67.63	33.89	67.55	N 28°49'39" E
C-32	11°52'50"	415.00	86.05	43.18	85.90	N 39°26'10" E
C-33	8°25'48"	415.00	61.06	30.58	61.00	N 49°35'29" E
C-34	12°20'44"	781.72	79.21	13.25	78.86	N 62°42'01" E
C-35	16°43'16"	781.72	228.13	114.88	227.33	N 62°10'01" E
C-36	0°28'31"	831.72	6.90	3.45	6.90	N 56°45'55" E
C-37	4°13'53"	831.72	61.42	30.73	61.41	N 59°07'07" E
C-38	3°24'49"	831.72	49.55	24.78	49.55	N 62°56'28" E
C-39	4°13'31"	831.72	61.33	30.68	61.32	N 66°45'58" E
C-40	7°21'51"	781.72	26.50	13.25	26.49	N 54°46'49" E
C-41	4°14'48"	781.72	57.94	28.98	57.93	N 57°52'18" E
C-42	5°14'28"	781.72	71.51	35.78	71.48	N 62°36'56" E
C-43	5°17'28"	781.72	72.19	36.12	72.16	N 67°52'54" E
C-44	1°31'25"	781.72	20.79	10.40	20.79	N 56°30'37" E

REFERENCES

REFERENCE RECORD OF SURVEY NUMBERS:
1229, 1249, 2473, 4087, 11785, 11809

REFERENCE PLATS OF:
RUSTY SPUR RANCHETTES
RUSTY SPUR RANCHETTES NO. 2
SAILING HAWKS SUBDIVISION
GREINERS HOPE SPRINGS NO. 1
GREINERS HOPE SPRINGS NO. 2
FALLBROOK SUBDIVISION NO. 3

SURVEYOR NARRATIVE

THE PLAT OF GREINERS HOPE SPRINGS SUBDIVISION NO. 3 IS A CONTINUATION OF THE MASTER PLAN FOR THE GREINERS HOPE SPRINGS SUBDIVISION. THIS SUBDIVISION IS A RE-PLAT OF A PART OF LOT 4 OF BLOCK 1 OF RUSTY SPUR RANCHETTES AS SHOWN IN BOOK 64 OF PLATS AT PAGE 6463, AND OF A PART OF LOTS 5, 6, AND 9 OF BLOCK 1 OF RUSTY SPUR RANCHETTES NO. 2 AS SHOWN IN BOOK 64 OF PLATS AT PAGE 6556 IN THE OFFICE OF THE RECORDER, ADA COUNTY, IDAHO.

GREINERS HOPE SPRINGS SUBDIVISION NO. 3 IS BOUNDED TO THE NORTH AND EAST BY RUSTY SPUR RANCHETTES NO. 2, BOUNDED ON THE SOUTH BY FALLBROOK SUBDIVISION NO. 3 AS SHOWN IN BOOK 119 OF PLATS AT PAGE 18533, BOUNDED ON THE WEST BY GREINERS HOPE SPRINGS SUBDIVISION NO. 1 AS SHOWN IN BOOK 118 OF PLATS AT PAGE 18271 AND BY SAILING HAWKS SUBDIVISION AS SHOWN IN BOOK 117 OF PLATS AT PAGE 17747.

THE MONUMENTS ALONG THE BOUNDARY OF GREINERS HOPE SPRINGS SUBDIVISION NO. 1 AND THOSE MAKING UP THE REMAINING BOUNDARY ALONG SAILING HAWKS SUBDIVISION AND THOSE SHOWN ON RECORD OF SURVEY NO.'s 11785 AND 11809 WERE FOUND IN PLACE AND UNDISTURBED UNLESS OTHERWISE SHOWN. THE REMAINING PROPERTY LINES WERE DEVELOPED AS PER THE OWNER AS SHOWN HEREON.



CIVIL SURVEY CONSULTANTS, INC.

2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 888-4312

GREINERS HOPE SPRINGS SUBDIVISION NO. 3

CERTIFICATE OF OWNERS

KNOW ALL MEN BY THESE PRESENTS: That we, the undersigned, are the Owners of the real property described below in City of Star, Ada County, Idaho, and that we intend to include the following described property in this GREINERS HOPE SPRINGS SUBDIVISION NO. 3:

A parcel located in the S 1/2 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, City of Star, and being a re-plot of a part of Lot 4 of Block 1 of RUSTY SPUR RANCHETTES SUBDIVISION as shown in Book 64 of Plots at Pages 6463 - 6464, and a part of Lots 5, 6, and 9 of Block 1 of RUSTY SPUR RANCHETTES SUBDIVISION NO. 2 as shown in Book 64 of Plots at Pages 6556 - 6557, in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said S 1/2 of the NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said Section 6 bears N 0°56'44"E a distance of 2708.74 feet;

Thence N 88°38'47"W along the southerly boundary of said S 1/2 of the NE 1/4 a distance of 962.48 feet to the POINT OF BEGINNING;

Thence continuing N 88°38'47"W a distance of 507.55 feet to a point marking the southwesterly corner of said Lot 4, said corner also being the southeasterly corner of SAILING HAWKS SUBDIVISION as shown in Book 117 at Pages 17747 - 17748 in said office of the Recorder;

Thence leaving said southerly boundary N 1°01'29"E along the westerly boundary of said Lot 4 and along the easterly boundary of said SAILING HAWKS SUBDIVISION a distance of 278.15 feet to a 5/8 inch diameter iron pin marking the northeasterly corner of said SAILING HAWKS SUBDIVISION, said point also marking the southerly corner of GREINERS HOPE SPRINGS SUBDIVISION NO. 1 as shown in Book 118 of Plots at Pages 18271 - 18274 in said office of the Recorder;

Thence leaving said westerly boundary and said easterly boundary and along the easterly boundary of said GREINERS HOPE SPRINGS SUBDIVISION NO. 1 the following described courses:

Thence S 88°58'31"E a distance of 6.80 feet to a 5/8 inch diameter iron pin;

Thence N 2°39'05"E a distance of 105.14 feet to a 5/8 inch diameter iron pin;

Thence a distance of 37.70 feet along the arc of a 175.00 foot radius non-tangent curve right, said curve having a radius point bearing of S 40°34'54"W, a central angle of 12°20'33" and a long chord bearing S 43°14'50"E a distance of 37.63 feet to a 5/8 inch diameter iron pin;

Thence N 52°55'27"E a distance of 50.00 feet to a 5/8 inch diameter iron pin;

Thence a distance of 30.15 feet along the arc of a 225.00 foot radius non-tangent curve right, said curve having a radius point bearing of S 52°55'27"W, a central angle of 7°40'38" and a long chord bearing S 33°14'11"E a distance of 30.13 feet to a 5/8 inch diameter iron pin;

Thence N 48°18'06"E a distance of 38.67 feet to a 5/8 inch diameter iron pin;

Thence N 2°15'52"E a distance of 10.55 feet to a 5/8 inch diameter iron pin;

Thence N 75°48'44"E a distance of 55.08 feet to a 5/8 inch diameter iron pin;

Thence N 2°20'07"E a distance of 138.28 feet to a 5/8 inch diameter iron pin;

Thence N 33°39'22"W a distance of 12.56 feet to a 5/8 inch diameter iron pin;

Thence N 46°53'06"E a distance of 38.00 feet to a 5/8 inch diameter iron pin;

Thence N 47°08'58"E a distance of 48.59 feet to a 5/8 inch diameter iron pin;

Thence N 48°40'38"E a distance of 48.59 feet to a 5/8 inch diameter iron pin;

Thence N 50°12'19"E a distance of 48.59 feet to a 5/8 inch diameter iron pin;

Thence N 51°44'00"E a distance of 48.59 feet to a 5/8 inch diameter iron pin;

Thence N 52°40'08"E a distance of 48.65 feet to a 5/8 inch diameter iron pin;

Thence N 53°48'23"E a distance of 200.00 feet to a 5/8 inch diameter iron pin;

Thence S 36°11'37"E a distance of 12.25 feet to a 5/8 inch diameter iron pin;

Thence N 56°58'05"E a distance of 83.43 feet to a 5/8 inch diameter iron pin;

Thence S 33°01'55"E a distance of 38.67 feet to a 5/8 inch diameter iron pin;

Thence N 63°34'54"E a distance of 179.96 feet to a 5/8 inch diameter iron pin;

Thence leaving said easterly boundary S 71°15'17"E a distance of 25.58 feet to a 5/8 inch diameter iron pin;

Thence S 21°07'37"E a distance of 114.00 feet to a 5/8 inch diameter iron pin;

Thence S 45°16'43"E a distance of 55.15 feet to a 5/8 inch diameter iron pin;

Thence S 19°27'59"E a distance of 113.85 feet to a 5/8 inch diameter iron pin;

Thence S 86°42'21"W a distance of 78.02 feet to a 5/8 inch diameter iron pin;

Thence S 80°51'03"W a distance of 35.71 feet to a 5/8 inch diameter iron pin;

Thence S 64°17'24"W a distance of 28.01 feet to a 5/8 inch diameter iron pin;

Thence S 53°48'02"W a distance of 338.56 feet to a 5/8 inch diameter iron pin;

Thence S 38°51'52"W a distance of 78.54 feet to a 5/8 inch diameter iron pin;

Thence S 23°30'05"W a distance of 78.65 feet to a 5/8 inch diameter iron pin;

Thence S 10°59'13"W a distance of 78.09 feet to a 5/8 inch diameter iron pin;

Thence S 1°21'13"W a distance of 81.00 feet to a 5/8 inch diameter iron pin;

Thence S 2°29'58"W a distance of 50.01 feet to a 5/8 inch diameter iron pin;

Thence S 1°21'13"W a distance of 115.00 feet to the POINT OF BEGINNING.

This parcel contains 10.271 acres, more or less.

CERTIFICATE OF OWNERS (CONT'D)

All the lots in this subdivision will be eligible to receive irrigation water as provided under Idaho Code 31-3805(1)(b) and lies within the Middleton Irrigation Association and Middleton Mill Ditch Company and the Farmers Union Ditch Company and are subject to assessments for said water.

All the lots in this subdivision will be eligible to receive water and sewer service from the Star Sewer and Water District. The Star Sewer and Water District has agreed in writing to serve all the lots in this subdivision.

The public streets shown on this plat are hereby dedicated to the public. Public utility, irrigation and drainage easements on this plat are not dedicated to the public, but the right of access to, and use of, these easements is hereby reserved for public utilities, irrigation and drainage and for any other uses as may be designated hereon and no permanent structures other than that for said uses are to be erected within the limits of said easements.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HAND THIS 15TH DAY OF APRIL, 2021.

GREEN VILLAGE 3 DEVELOPMENT, LLC

By Tucker M. Johnson, Manager

ACKNOWLEDGMENT

STATE OF IDAHO }
COUNTY OF ADA } S.S.

ON THIS 15TH DAY OF APRIL 2021, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE PERSONALLY APPEARED TUCKER M. JOHNSON, KNOWN TO ME TO BE THE MANAGER OF GREEN VILLAGE 3 DEVELOPMENT, LLC THE PERSON WHO EXECUTED THE INSTRUMENT AND ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.



MY COMMISSION EXPIRES FEB 13, 2023

RESIDING AT ADA COUNTY

NOTARY PUBLIC FOR THE STATE OF IDAHO



CIVIL SURVEY CONSULTANTS, INC.

2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 886-4312

GREINERS HOPE SPRINGS SUBDIVISION NO. 3

CERTIFICATE OF SURVEYOR

I, KYLE A. KOOMLER DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF IDAHO, AND THAT THIS PLAT AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" WAS DRAWN FROM THE FIELD NOTES OF A SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

KYLE A. KOOMLER
IDAHO NO. 18780



APPROVAL OF THE CITY ENGINEER

I, THE UNDERSIGNED CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, ON THIS DAY, September 9, 2021, HEREBY APPROVE THIS PLAT OF GREINERS HOPE SPRINGS SUBDIVISION NO. 3.

Ken C. Nguyen
CITY ENGINEER - STAR, IDAHO

PE #11621

CERTIFICATE OF THE COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR IN AND FOR ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

DATE 24 September 2021



Pat R. May
ADA COUNTY SURVEYOR
PLS #13553

CERTIFICATE OF COUNTY RECORDER

STATE OF IDAHO } s.s.
COUNTY OF ADA }

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF Civil Survey Consultants Inc. AT 17 MINUTES PAST 9 O'CLOCK A.M. ON THIS 28th DAY OF September, 2021.

Indray Wheeler
DEPUTY

Phil McGrane
EX-OFFICIO RECORDER

BOOK 121 PAGES 19050-19053

INSTRUMENT NO. 2021-141256

HEALTH CERTIFICATE

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE-IMPOSED IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF DISAPPROVAL.

DATE 4/22/21

Phil H. Reth
CENTRAL DISTRICT HEALTH



ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ACCEPTANCE

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE 15 DAY OF September, 2021.



Bruce S. Wang
ADA COUNTY HIGHWAY DISTRICT
signed by Bruce S. Wang
Director for President

APPROVAL OF CITY COUNCIL

I, THE UNDERSIGNED, CITY CLERK IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE CITY COUNCIL HELD ON July 6, 2021 THIS FINAL PLAT WAS APPROVED AND ACCEPTED.

J.M. Z...
CHAIRMAN City Clerk / Treasurer



CERTIFICATE OF THE COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS OF I.C. 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

DATE 09/24/2021

Elizabeth Mohr
COUNTY TREASURER

Per Deputy Treasurer Janell



After Recording

Return to:

Hethe Clark
Clark Wardle LLP
PO Box 639
Boise, ID 83701

FOR RECORDING INFORMATION

**SECOND AMENDMENT TO DECLARATION
OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS
FOR GREINERS HOPE SPRINGS SUBDIVISION
(Phase 3)**

This Second Amendment to Declaration of Covenants, Conditions, Restrictions and Easements for Greiners Hope Springs Subdivision ("**Second Amendment**") is made this 18th day of October, 2021, to be effective only upon the recording hereof in the official records of Ada County, Idaho, by Green Village 3 Development, LLC, an Idaho limited liability company, ("**Grantor**" and "**Class B Member**").

RECITALS

A. Grantor is the owner of, or has an interest in, certain real property located in Ada County, Idaho, which real property is commonly known as Greiners Hope Springs Subdivision (the "**Property**").

B. On August 21, 2020, Green Village 2 Development, Inc., an Idaho corporation ("**GV2**"), as original Grantor caused to be recorded against the Property in the official records of Ada County, Idaho, as Instrument No. 2020-107706, that certain Declaration of Covenants, Conditions, Restrictions and Easements for Greiners Hope Springs Subdivision No. 1, as amended by that certain First Amendment thereto recorded January 8, 2021, as Instrument No. 2021-004141 (collectively, the "**Original Declaration**").

C. By that certain Assignment and Assumption of Grantor's Rights (Phase 3) recorded in the official records of Ada County, Idaho, on October 18, 2021, as Instrument No. 2021-150534, (the "**Phase 3 Assignment**"), GV2 assigned all grantor rights under the Original Declaration to Grantor. The Original Declaration and the Phase 3 Assignment are collectively referred to herein as the "**Master Declaration**".

D. As noted in Article I of the Master Declaration, the Property is to be developed in phases, each of which shall be subject to the Master Declaration as amended or supplemented from time to time.

E. Grantor has caused to be recorded that certain plat identified as Greiners Hope Springs Subdivision No. 3, as filed in Book 121 of Plats at Pages 19050 through 19053, in Ada County, Idaho, on September 28, 2021, as Instrument No. 2021-141256 (the "**Phase 3 Plat**"), and more particularly described and depicted on Exhibit A attached hereto and made a part hereof. (the "**Phase 3 Property**").

F. Grantor desires to amend the Master Declaration, as permitted by Article XII of the Master Declaration, to confirm, and to declare that the Phase 3 Property and each lot, parcel, or portion thereof, is and/or shall be held, sold, conveyed, encumbered hypothecated, leased, used, occupied and improved subject to the terms of the Master Declaration, and subject to the following terms, covenants, conditions, easements, and restrictions as hereinafter set forth.

NOW THEREFORE, Grantor hereby declares that the Phase 3 Property and each lot, parcel, r portion thereof, is and shall be sold, conveyed, encumbered, hypothecated, leased, used, occupied and

improved subject to the Master Declaration, and the following terms, covenants, conditions, easements, and restrictions, all of which are declared and agreed to be in furtherance of a general plan for the protection, maintenance, subdivision, improvement, and sale of the Phase 3 Property, and to enhance the value, desirability, and attractiveness of the Phase 3 Property. The terms, covenants, conditions, easements, and restrictions set forth herein shall run with the land constituting the Phase 3 property and with each estate therein, and shall be binding upon all persons having or acquiring any right, title or interest in the Phase 3 Property, or any lot, parcel, or portion thereof.

In addition to the restrictions set forth in the Master Declaration, the Phase 3 Property shall be subject to the following:

1. **Association and Voting.** The Phase 3 Property shall be part of Greiners Hope Springs Owners Association, Inc. (the "**Association**"). The Phase 3 Property shall be governed in accordance with the Master Declaration, as the same may from time to time be amended, including, without limitation, the obligation for and enforcement of Assessments as further described therein:

2. **Design Review.** Any and all improvements shall be subject to review by the ACC, which review will be in accordance with the Architectural Guidelines, as the same may be amended from time to time, and all in accordance with the Master Declaration.

3. **Designation of Phase 3 Common Area.** The Common Area established in the Phase 3 Property consists of those lots so designated on the Phase 3 Plat, including: Lot 3 of Block 4; Lots 14 and 28 of Block 5; Lot 11 of Block 7; and Lot 12 of Block 9. Said Common Area shall be maintained by the Association in accordance with the Master Declaration.

4. **Storm Drain Maintenance.** Operation and light maintenance of the ACHD storm drain system located on Lot 14 of Block 5, and Lot 11 of Block 7 of the plat of Greiners Hope Springs Subdivision No. 3 shall be provided by the Association as further set forth in the Master Declaration, and depicted and maintained in accordance with the Stormwater Operations and Maintenance Manual for Greiners Hope Springs Subdivision, revised May 4, 2021, prepared by Civil Survey Consultants, Inc., and attached hereto as **Exhibit B** and made a part hereof (the "**Stormwater Facility O&M Manual**"). Lot 14 of Block 5, and Lot 11 of Block 7 are encumbered by that certain First Amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015 as Instrument No. 2015-103256, official records of Ada County, and incorporated herein by this reference as if set forth in full (the "**Master Easement**"). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to ACHD pursuant to Section 40-2302 Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage system. Said easement shall remain free of all encroachments and obstructions (including fences and trees) which may adversely affect the operation and maintenance of the storm drainage facilities.

4.1. **ACHD Maintenance.** The Stormwater Facility O&M Manual may only be modified at the direction of the Board of the Association with written approval by ACHD. Notwithstanding the Association is obligated to maintain Lot 14 of Block 5, and Lot 11 of Block 7 of the Common Area and facilities contained therein, it is hereby provided that Ada County Highway District ("**ACHD**") shall have the right at all times to inspect the storm water drainage system, and may elect to perform and required maintenance and repairs of any part or facility of the Common Area should the Association fail to maintain Lot 19, Block 2 of the Common Area. In the event that ACHD determines, in its sole reasonable discretion, that the Association is not adequately maintaining Lot 14 of Block 5, and Lot 11 of Block 7 of the Common Area, ACHD shall, before undertaking maintenance of the Common Area, provide written notice of its intention to begin maintenance of the Common Area within a thirty (30) day period, within which time frame the Association may undertake to initiate and conclude all maintenance defects as identified by ACHD. In the event the Association shall fail to commence and conclude maintenance of the Common Area to the extent such items of specific maintenance are identified by ACHD within the prescribed thirty (30) days, then in such event, ACHD may begin to undertake maintenance of Lot 14 of Block 5, and Lot 11 of Block 7 of the Common Area.

ACHD is hereby granted an irrevocable license to enter upon any portion of Lot 19, Block 2 of the Common Area to perform inspection and maintenance of its drainage facilities. Should ACHD engage in maintenance of Lot 14 of Block 5, and Lot 11 of Block 7 of the Common Area after having provided notice to the Association and having provided the Association an opportunity to undertake such maintenance, ACHD shall be entitled to and empowered to pursue reimbursement for the reasonable costs of all required maintenance and repairs to the storm water drainage system that are a result of failure by the Association to properly perform the light maintenance duties as defined in the Stormwater Facility O&M Manual. The prior written review and approval of ACHD is required to amend this section or amend the Stormwater Facility O&M Manual.

5. **ACHD License Agreement.** In addition to the Temporary License Agreement mentioned in Section 7.07 of the Master Declaration, Grantor, as "Licensee" has entered into a Temporary License Agreement dated June 21, 2021, recorded as Instrument No. 2021-094779, records of Ada County, Idaho (the "License") with ACHD, which permits the Licensee to install certain landscaping improvements in ACHD's right-of-way adjacent to or within the Subdivision, subject to the terms and conditions stated therein. Among other requirements, the License requires the Licensee to maintain all improvements placed in the right-of-way, to remove, relocate and/or modify the improvements if ACHD so requires, and to hold harmless and defend ACHD against all claims arising out of Licensee's use of the right-of-way or its failure to comply with the terms of the License. Grantor hereby assigns to the Association all of Grantor's rights, duties and obligations in this Section 5, and the Association shall assume and perform all such rights, duties and obligations from and after the date this Second Amendment is recorded in the office of the Ada County Recorder. In furtherance of the foregoing, the Association shall in all ways cooperate with Grantor and execute, acknowledge and deliver any and all such further documents and instruments and do and perform any and all other acts as may be necessary to effect and carry out the said assignment and assumption, including without limitation, executing any documents and instruments required by ACHD for such purposes.

6. **No Additional Changes.** Except as amended by this Second Amendment, the Master Declaration shall remain unchanged and in full force and effect.

7. **Effect of Amendment.** This Second Amendment shall be binding upon and inure to the benefit of Grantor, all Owners of a Building Lot, and their successors and assigns. If there is any conflict between the terms of this Second Amendment and the Master Declaration, this Second Amendment shall control

[remainder of page is intentionally blank—signature page follows]

IN WITNESS WHEREOF, the undersigned has caused this Second Amendment to Master Declaration of Covenants, Conditions, Restrictions and Easements for Greiners Hope Springs Subdivision be duly executed the day and year first above written.

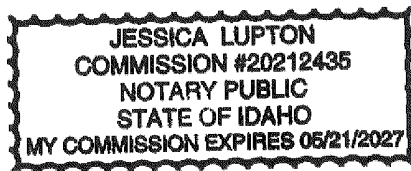
GRANTOR:

GREEN VILLAGE 3 DEVELOPMENT, LLC,
an Idaho limited liability company

By: [Signature]
Tucker M. Johnson, Manager

STATE OF Idaho)
County of Ada) ss.

This record was acknowledged before me on this 18th day of October, 2021, by Tucker M. Johnson, the Manager of Green Village 3 Development, LLC.



[Signature]
Notary Public for Idaho
Residing at: Canyon County
My Commission Expires: 5/21/2027

EXHIBIT A

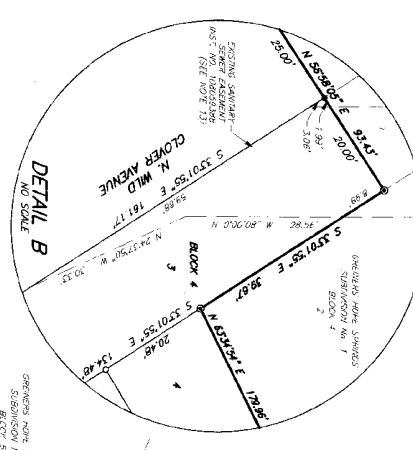
Final Plat for Greiners Hope Springs Subdivision No. 3

GREINERS HOPE SPRINGS SUBDIVISION No. 3

LOCATED IN THE S 1/2 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO AND BEING A REPLAT OF A PART OF LOT 4 OF BLOCK 1 OF RUSTY SPUR RANCHETTES AND A PART OF LOTS 5, 6, AND 9 OF BLOCK 1 OF RUSTY SPUR RANCHETTES NO. 2

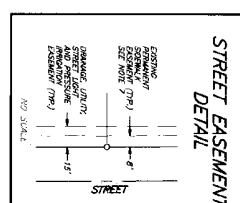
2021

A DEVELOPMENT BY GREEN VILLAGE 3 DEVELOPMENT, LLC



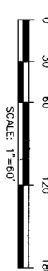
DETAIL A

NO SCALE

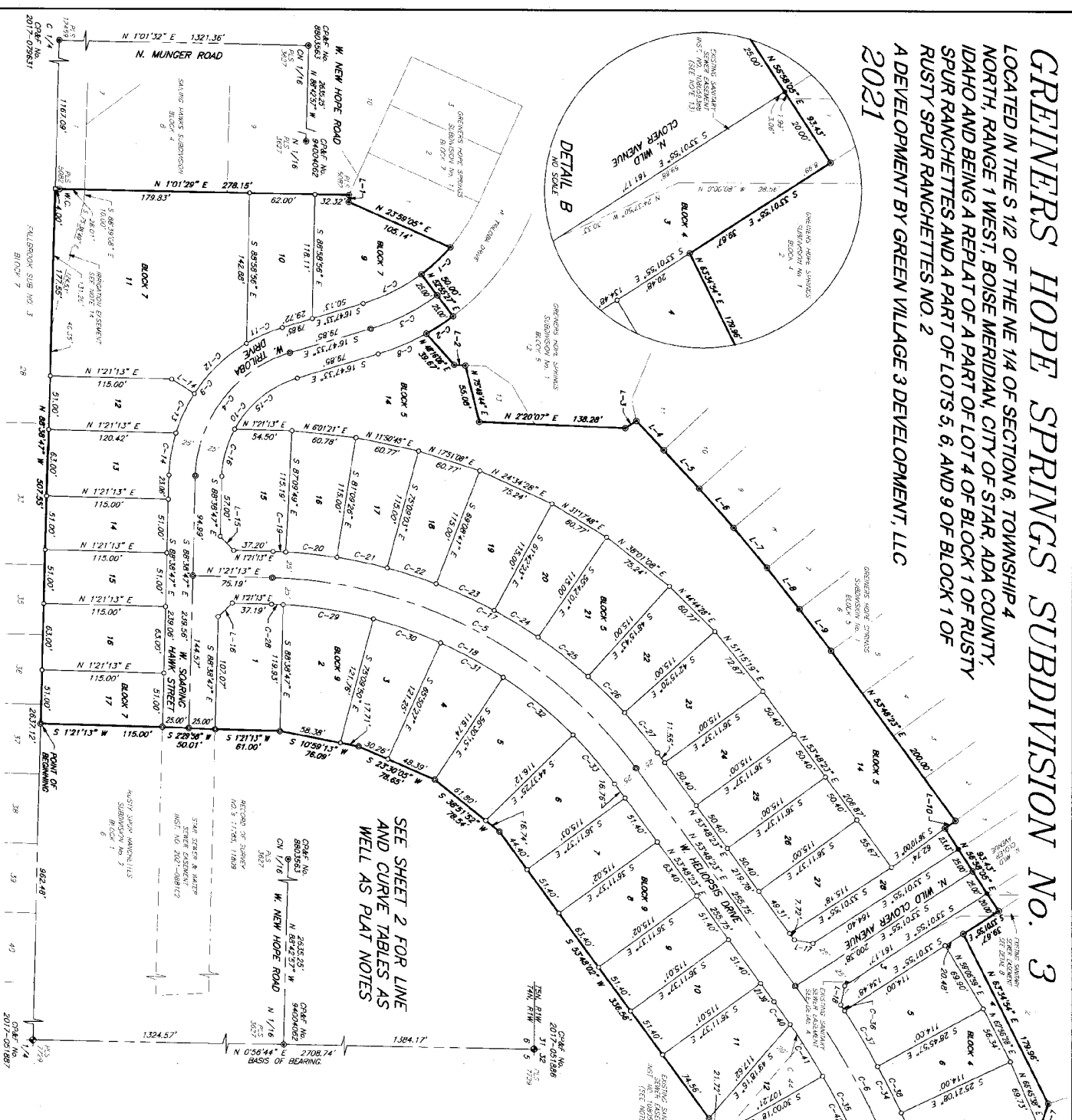


LEGEND

- SUBDIVISION BOUNDARY
- SET 3/8"x24" IRON PIN WITH PLS 18780
- PLASTIC CAP
- IRON PIN WITH PLS 18780
- PLASTIC CAP OR 4S NOTED
- FOUND 1/2" IRON PIN WITH PLS 18780
- PLASTIC CAP OR 4S NOTED
- FOUND ALUMINUM CAP MONUMENT
- SET 1/2"x24" IRON PIN WITH PLS 18780
- PLASTIC CAP
- CALCULATED POINT, NOTHING SET
- WITNESS CORNER
- SECTION LINE
- STREET CENTERLINE
- LOT LINE
- EXISTING LOT LINE
- EASEMENT LINE



SEE SHEET 2 FOR LINE AND CURVE TABLES AS WELL AS PLAT NOTES



CIVIL SURVEY CONSULTANTS, INC.

2021 SOUTH AMERICAN ROAD

SHEET 1 OF 4



CURVE DATA						
CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD	CHORD BRNG.
C-1	1,240.00	175.00	31.75	14.50	30.13	S 43.14+107.6
C-2	740.00	205.00	30.75	15.50	30.13	S 43.14+107.6
C-3	1,240.00	205.00	30.75	15.50	30.13	S 43.14+107.6
C-4	740.00	125.00	30.75	15.50	30.13	S 43.14+107.6
C-5	597.70	440.00	40.81	20.76	156.89	N 27.34+49.7
C-6	153.16	806.72	202.93	112.41	222.61	N 61.83+50.1
C-7	207.20	606.72	61.95	31.36	61.93	S 23.85+50.1
C-8	153.16	225.00	30.75	15.50	30.13	S 43.14+107.6
C-9	715.71	150.00	178.11	106.69	176.01	S 59.47+0.7
C-10	715.71	102.00	125.41	72.45	117.35	S 64.31+0.7
C-11	141.16	150.00	33.25	16.75	33.17	S 33.54+15.6
C-12	141.16	150.00	33.25	16.75	33.17	S 33.54+15.6
C-13	157.15	150.00	41.52	20.79	41.19	S 51.19+0.7
C-14	157.15	150.00	40.43	20.74	40.31	S 50.25+10.7
C-15	430.04	150.00	78.72	41.53	78.70	S 39.20+10.7
C-16	430.04	150.00	78.72	41.53	78.70	S 39.20+10.7
C-17	529.27	455.00	45.69	23.52	101.89	N 27.34+49.7
C-18	529.27	415.00	379.92	204.44	456.79	N 27.34+49.7
C-19	57.71	415.00	48.75	24.40	48.72	N 27.05+4.7
C-20	129.98	465.00	12.03	6.02	12.03	N 27.05+4.7
C-21	129.98	465.00	12.03	6.02	12.03	N 27.05+4.7
C-22	600.23	465.00	48.75	24.40	48.72	N 12.32+0.8
C-23	746.73	465.00	60.35	30.43	60.35	N 24.34+0.8
C-24	600.23	465.00	48.75	24.40	48.72	N 12.32+0.8
C-25	746.73	465.00	60.35	30.43	60.35	N 24.34+0.8
C-26	600.23	465.00	48.75	24.40	48.72	N 12.32+0.8
C-27	600.23	465.00	48.75	24.40	48.72	N 12.32+0.8
C-28	600.23	465.00	48.75	24.40	48.72	N 12.32+0.8
C-29	600.23	465.00	48.75	24.40	48.72	N 12.32+0.8
C-30	600.23	465.00	48.75	24.40	48.72	N 12.32+0.8
C-31	129.98	415.00	10.82	5.41	10.82	N 20.00+1.6
C-32	129.98	415.00	10.82	5.41	10.82	N 20.00+1.6
C-33	97.91	415.00	67.53	11.54	67.55	N 19.99+1.6
C-34	115.90	415.00	38.05	14.18	38.00	N 39.76+10.7
C-35	115.90	415.00	38.05	14.18	38.00	N 39.76+10.7
C-36	152.00	415.00	19.76	9.88	19.76	N 39.76+10.7
C-37	152.00	415.00	19.76	9.88	19.76	N 39.76+10.7
C-38	163.16	381.72	228.13	114.69	422.33	N 64.10+0.1
C-39	703.81	381.72	6.90	3.45	6.90	N 66.05+5.5
C-40	703.81	381.72	6.90	3.45	6.90	N 66.05+5.5
C-41	413.53	831.72	61.42	30.23	61.43	N 59.07+0.7
C-42	413.53	831.72	61.42	30.23	61.43	N 59.07+0.7
C-43	413.53	831.72	61.42	30.23	61.43	N 59.07+0.7
C-44	156.17	781.72	61.33	16.69	61.32	N 66.05+5.5
C-45	156.17	781.72	59.94	16.12	59.93	N 64.16+6.8
C-46	517.28	781.72	72.19	36.12	72.18	N 66.05+5.5
C-47	131.25	781.72	20.79	10.40	20.79	N 64.00+3.7

1. THE DEVELOPMENT OF THIS PROPERTY SHALL BE IN CONFORMANCE WITH THE ZONING ORDINANCE OR AS SPECIFICALLY APPROVED BY FILE NO. 19-03-0004-19-00000-19-000.
2. ALL LOTS HAVE A 15 FOOT MIN. EXISTING TOP PUBLIC UTILITIES, LOT DRAINAGE, PRESSURE IRRIGATION AND STREET LIGHT FIXTURES CONFORMING TO ALL PUBLIC STANDARDS. ALL SIDE LOT LINES HAVE A 10 FOOT MIN. EXISTING TOP PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURE IRRIGATION. PRESSURE IRRIGATION SYSTEMS HAVE A 10 FOOT MIN. EXISTING TOP PUBLIC UTILITIES TO LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805,

REFERENCE RECORD OF SURVEY NUMBERS
1228, 1249, 2473, 4087, 11785, 11809

[illegible]

GREINERS HOPE SPRINGS SUBDIVISION NO. 3

Blk 121 Pg 19053

CERTIFICATE OF SURVEYOR

I, FILE A. KOOMER DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF IDAHO AND THAT THIS PLAT AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" WAS DRAWN FROM THE FIELD NOTES OF A SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

FILE A. KOOMER
IDAHO NO. 18780



APPROVAL OF THE CITY ENGINEER

I, THE UNDERSIGNED CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, ON THIS DAY September 2, 2021, HEREBY APPROVE THIS PLAT OF GREINERS HOPE SPRINGS SUBDIVISION NO. 3.

Ben A. McNamee
CITY ENGINEER - STAR, IDAHO
PE #1124

CERTIFICATE OF THE COUNTY SURVEYOR

I, THE UNDERSIGNED PROFESSIONAL LAND SURVEYOR IN AND FOR ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND THAT IT COMPLETES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

DATE September 2, 2021
ADA COUNTY SURVEYOR
P.C.# 13553



CERTIFICATE OF COUNTY RECORDER

STATE OF IDAHO } S.S.
COUNTY OF ADA }
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF CLAY SERVICE CONSULTANTS, INC. AT 17 MINUTES PAST 4 O'CLOCK A.M. ON THIS 28th DAY OF September, 2021.

Shirley Wheeler
DEPUTY
EX-OFFICIO RECORDER
Phil McNamee

BOOK 121 PAGES 19050-19053 INSTRUMENT NO. 2021-141256

HEALTH CERTIFICATE

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HAS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE IMPOSED IN ACCORDANCE WITH SECTION 50-1308, IDAHO CODE, BY THE ISSUANCE OF DISPROVAL.

DATE 4/22/21

Michelle Ketchum
CENTRAL DISTRICT HEALTH



ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ACCEPTANCE

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE 15 DAY OF September, 2021.



David S. Wong
ADA COUNTY HIGHWAY DISTRICT
Signed by Board 5 Members
Director for President

APPROVAL OF CITY COUNCIL

I, THE UNDERSIGNED CITY CLERK IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE CITY COUNCIL HELD ON July 6, 2021 THIS FINAL PLAT WAS APPROVED AND ACCEPTED.

Sharon City Clerk / Treasurer



CERTIFICATE OF THE COUNTY TREASURER

I, THE UNDERSIGNED COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS OF I.C. 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

DATE 09/29/2021

Elizabeth Wahn
COUNTY TREASURER
For Deputy Treasurer Shirley Wheeler



EXHIBIT B

Stormwater Facility O&M Manual

STORM WATER OPERATIONS AND MAINTENANCE MANUAL

For

GREINERS HOPE SPRINGS SUBDIVISION

Revised May 4, 2021

Prepared for

**Green Village 3 Development, Inc.
Box 372
Eagle, Idaho 83616**

Prepared by

**Civil Survey Consultants, Inc
2893 S. Meridian Road
Meridian, Idaho 83642**

**STORM WATER OPERATIONS AND MAINTENANCE MANUAL
FOR
GREINERS HOPE SPRINGS SUBDIVISION**

Table of Contents

Narrative

Storm Water System Description	1.
Maintenance	1.
Combination Detention Pond/Park Facilities	2.
Maintenance Cost Estimate	2.

Appendix

Appendix A	- Storm Drainage Master Plan Map
Appendix B	- Facilities Design Plans (reduced)
Appendix C	- Final Plats and Easements (reduced)

STORM WATER OPERATIONS AND MAINTENANCE MANUAL

FOR

GREINERS HOPE SPRINGS SUBDIVISION

STORM WATER SYSTEM DESCRIPTION

Greiners Hope Springs Subdivision is a ±62-acre subdivision located in northwest Star on the south side of New Hope Road just East of Munger Road. Storm water runoff from the subdivision is managed via multiple drainage facilities within the project. Some of the drainage facilities are underground seepage beds and others include pairing of above ground storage with underground seepage beds. This manual primarily addresses maintenance of the above ground facilities.

In a significant storm event, storm water runoff will initially concentrate on lots and in roads, then flow in the roadway gutters into storm water inlets. Storm drain piping then transports the runoff below ground to drainage facilities. Pipes are typically sized to carry the 100-year recurrence interval storm event though in some circumstances where topography allows, pipe are sized for 25-year storm events with the balance of the storm transported in the roadway gutters.

Storm water runoff is managed through a mixture of above ground detention and subsurface seepage bed facilities. The above ground detention facilities will typically double as usable open space parks for the residents of the subdivision. During large storm events, the park basins will detain much of the storm water for up to several hours. During and after storm events, water will pass into seepage beds within the park and infiltrate into the ground.

MAINTENANCE

ADA COUNTY HIGHWAY DISTRICT

Storm Drain Manholes used in this subdivision are “Catch manholes”. They act to trap some sediments from the runoff. These manholes require periodic cleaning by the Ada County Highway District (ACHD).

Sediment/Skimmer Boxes (a.k.a. sand and grease traps) are typically installed just upstream of the detention basins and infiltration beds. These structures require periodic cleaning of grease and sediment. ACHD is responsible for this maintenance.

Drainage Inlets include one-foot sumps per ACHD’s current policy. Inlets require periodic cleaning by the ACHD. Additionally, they may require cleaning during the fall season when leaves are prone to clog the inlets. The ACHD is responsible for maintenance within the roadway and should be notified if inlets become clogged.

HOMEOWNERS ASSOCIATION

The **Detention Ponds** or park basins will be grass lined and will be dry except during storm events. The areas will require regular maintenance consisting of watering and cutting the grass during spring, summer and early fall months. This maintenance is the sole responsibility of the homeowners association. An automatic sprinkler system was installed when the subdivision was built and its maintenance is the responsibility of the homeowners association. The grass will require annual fertilization and will possibly require reseeding if it dies. These items are also the responsibility of the homeowners association. Dead grass is not acceptable in the operation of this storm water management system.

STORM WATER OPERATIONS AND MAINTENANCE MANUAL
FOR
GREINERS HOPE SPRINGS SUBDIVISION

COMBINATION DETENTION POND/PARKS

The primary purpose of all lots used for storm water detention basins is the storm water management function. Any additions to the facilities, such as park benches or additional landscaping, should be considered temporary and may be removed when heavy maintenance of the facilities is needed. Replacement of these items will be the responsibility of the homeowners association.

It is unlikely that heavy maintenance will be required. However, if it is, it will likely be for the replacement or repair of the pipes or the seepage beds. Therefore, it is recommended that no permanent structures or trees be placed near the pipes shown on the site map included in this manual.

MAINTENANCE ESTIMATES

BASIN A - lot 8 of block 8 (Phase 2)

Pond Area: 14,500 SF

Items	Recurrence	Approx. Unit Cost*	Approx. Total Annual Cost*
Mow Grass	Weekly	\$100	\$2,800
Fertilize	Semi-annually	\$100	\$200
Sprinkler System			
Winterize (fall)	Annually	\$50	\$50
Initialize (spring)	Annually	\$50	\$50
Maintenance/Repair	As required	\$200	\$200
Total			\$3,300

BASIN B - lot 9 of block 6 (Phase 2)

Pond Area: 7,500 SF

Items	Recurrence	Approx. Unit Cost*	Approx. Total Annual Cost*
Mow Grass	Weekly	\$75	\$2,100
Fertilize	Semi-annually	\$75	\$150
Sprinkler System			
Winterize (fall)	Annually	\$50	\$50
Initialize (spring)	Annually	\$50	\$50
Maintenance/Repair	As required	\$150	\$150
Total			\$2,500

BASIN E - lot 11 of block 7 (Phase 2)**Pond Area: 7,500 SF**

Items	Recurrence	Approx. Unit Cost*	Approx. Total Annual Cost*
Mow Grass	Weekly	\$100	\$2,800
Fertilize	Semi-annually	\$100	\$200
Sprinkler System			
Winterize (fall)	Annually	\$50	\$50
Initialize (spring)	Annually	\$50	\$50
Maintenance/Repair	As required	\$200	\$200
Total			\$3,300

TOTAL ESTIMATED ANNUAL MAINTENANCE COST \$9,100

* Note: This is an estimate to do the minimum work required to maintain the storm water facilities.
Actual bids may vary.

Appendix A

Storm Drainage Pond Location Map (Overlay on Preliminary Plat)

Revised 5/04/2021



Appendix B

Facilities Design Plans

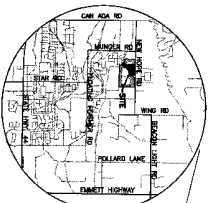
**A DEVELOPMENT BY
GREEN VILLAGE 2 DEVELOPMENT, INC.**

PO BOX 372
EAGLE, IDAHO 83616
CONTACT: TUCKER JOHNSON
TJ@skylineid.com
(208) 377-4104

PLANS & SPECIFICATIONS REVIEW

These plans and/or specifications have been reviewed for compliance with the San Sewer & Water District standards. This review does not relieve the owner, the owner's representatives, the owner's engineer, and the contractor of their responsibility to design and construct these facilities in compliance with all current applicable District, federal, state and local laws, rules, regulations, or ordinances.

By: James J. [Signature] Date: 3/10/20



LOCATION MAP



REVISIONS			PROJECT NO.
NO.	ITEM	DATE	18048/Phs1
1.	Revisions per ACHD review comments	1/17/20	DESIGNED
2.	Revisions per Keller/City of Skar comments	1/28/20	JRM
3.	Revisions per Keller/City of Skar comments	3/08/20	DRAWN
			JRM/JKK
			CHECKED
			APPROVED



2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312
Fax 888-0323
email: jmoney@civilsurvey.net

DATE: 03/05/2020
DRAWING: FBI-SHTD1
JOB NO: 18048/PHASE1
SHEET 1 OF 26

Plans Are Accepted For Public Street Construction

BENCHMARKS

TMH-1.1	6 1/2" HOH NUT W/ CAP - NEW HOPE NO 73-08.02, ON CL.
	ELY. = 5025.11
TMH-1.2	CHEEDED GUN IN BACK OF SODOMAK. NEW HOPE NO 73-30.33, 3Y LT
	ELY. = 5000.77
TMH-1.3	CHEEDED GUN IN CONC. BENTONIT. CAMPANULA DR. 11+11, 46" FT
	ELY. = 4918.51
TMH-2.1	CHEEDED GUN IN BACK OF SODOMAK. FERRY LAKE AVE 20+02, 18" FT
	ELY. = 4888.32
	DATE: MAR 88

SHEET INDEX

1. TITLE SHEET
2. PROJECT NOTES
3. ROOMWAY DETAILS/ MASTER NOTES
4. GROUND PLAN
5. GROUND PLAN -
6. ROOMWAY PLANS - W. NEW HIRE ROAD
7. ROOMWAY PLANS - N. MID CLOVER AVE
8. ROOMWAY PLANS - W. CAMPBULLA DRIVE
9. ROOMWAY PLANS - W. CAMPBULLA DRIVE
10. ROOMWAY PLANS - W. LILIA STREET
12. ROOMWAY PLANS - W. TRILBIA DRIVE
13. DRAINAGE DETAILS - DRAINAGE BASIN ---
14. DRAINAGE DETAILS - DRAINAGE BASIN ---
15. WATER/SEWER PLANS - LINE "A" - W. CAMPBULLA DRIVE
16. WATER/SEWER PLANS - LINE "A" - W. CAMPBULLA DRIVE
17. WATER/SEWER PLANS - LINE "B" - W. CAMPBULLA DRIVE
18. WATER/SEWER PLANS - LINE "C" - W. LILIA STREET
19. WATER/SEWER PLANS - LINE "D" - W. TRILBIA DRIVE
20. WATER/SEWER PLANS - LINE "E" - W. CAMPBULLA DRIVE
21. WATER/SEWER PLANS - DESIGN - N. MID CLOVER AVE
22. PRESSURE RECOVERY PUMP STATION LAYOUT / DRAINAGE
24. PRESSURE RECOVERY PUMP STATION PLAN DETAILS
26. PRESSURE RECOVERY DISTRIBUTION PLAN
28. STREET LIGHT PLAN
29. STREET LIGHT PLAN
30. SIGNAGE & STRIPING PLAN
- FINAL PLAN

BENCHMARKS

THM-11 5/9" THM, NW 1/4 SW - NW HOLE NO 73-04-02, DM CO.
SLV = 5002.11

THM-12 6/9" THM, NW 1/4 SW - NW HOLE NO 73-03, SS LT
SLV = 5003.72

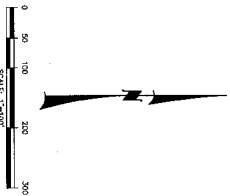
THM-13 6/9" THM, NW 1/4 SW - NW HOLE NO 73-03, SS LT
SLV = 5003.72

THM-21 6/9" THM, NW 1/4 SW - NW HOLE NO 73-03, SS LT
SLV = 5003.72

CHIEFED LOG IN BACK OF SODALITE. PENNY LAKE AVE 23-04, 18 FT
SLV = 5004.22

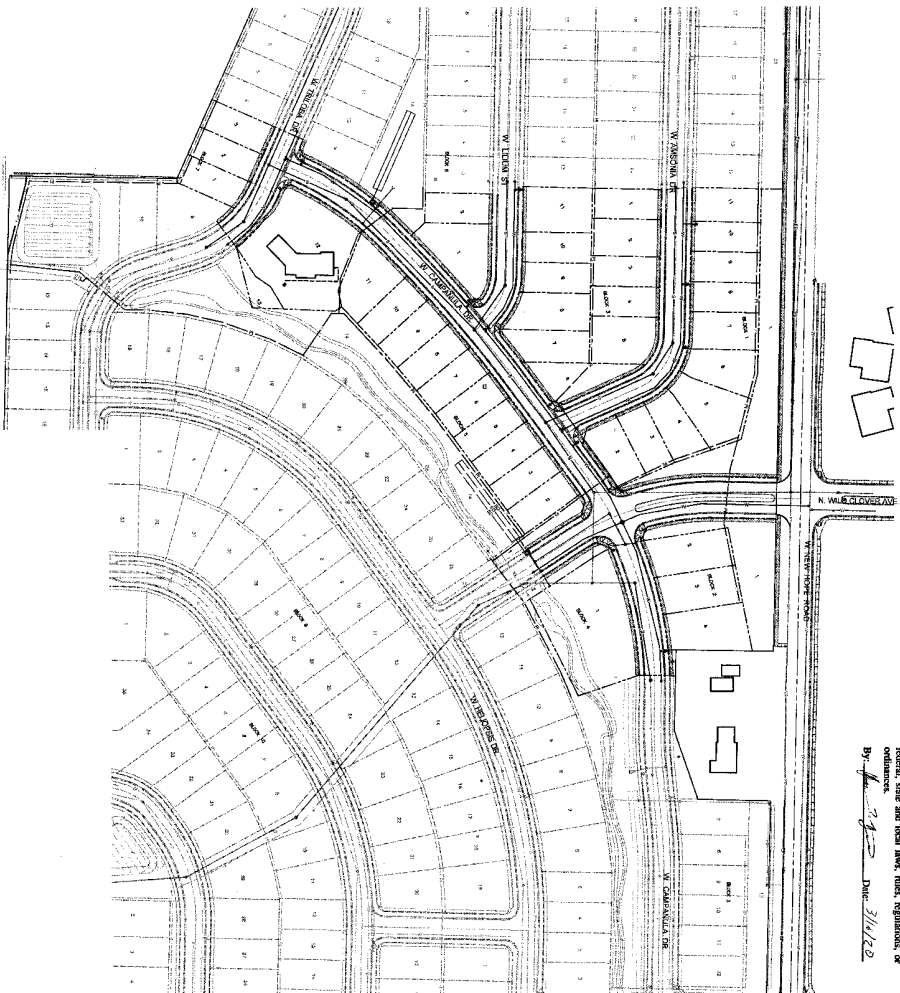
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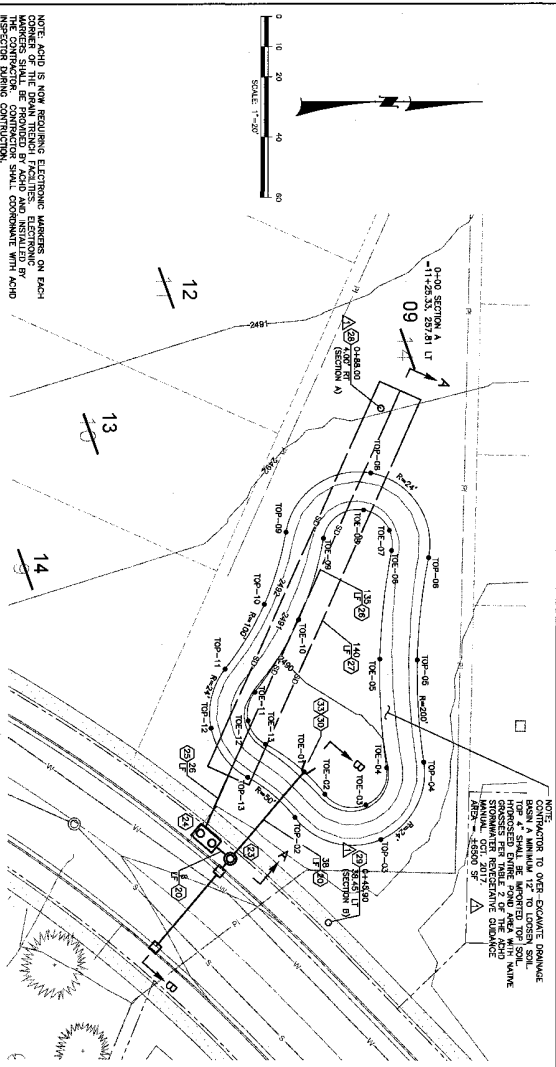
CALL DGLINE
48 HOURS PRIOR TO EXCAVATION
PHONE 1-800-342-1585
TO REQUEST U.C. LOCATIONS



LEGEND

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|  | CONTINUED |
|  | LOT LINE |
|  | S.D. |
|  | NEW UTILITY LINE OR PIPE |
|  | NEW UTILITY, SWALE OR VALLEY, GUTTER |
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|  | DECK MARK |
|  | VALVE OR METER |
|  | PIPE INFRANT |
|  | WATER BLOW-OFF |
|  | SEWER CLEANOUT |
|  | WATER METER |
|  | EXISTING UTILITY POLE |
|  | EXISTING JUNCTION BOX |
|  | NEW JUNCTION BOX |
|  | NEW STREET LIGHT |
|  | MAN-HOLE |
|  | STORM DRAIN INLET |
|  | SEWAGE BOX |
|  | NEW REGULATION BOX |
|  | NEW VERTICAL CURB & GUTTER |
|  | NEW ROLLED CURB & GUTTER |
|  | NEW CONCRETE SIDEWALK |
|  | NEW CONCRETE PAVEMENT RAMP |





NOTE: CONTRACTOR TO OVER EXCAVATE DRAINAGE BASIN A MINIMUM 12" TO EXISTING SOIL SURFACE. EXCAVATION SHALL BE FILL WITH 12" MINIMUM DRAINAGE SAND AND 12" MINIMUM STORMWATER RETENTION DISTANCE. 48" DIA. 12" DEEP INLET.

POND LAYOUT TABLE	
STATION	DESCRIPTION
0+00.00	START OF POND
0+05.00	12" DIA. 12" DEEP INLET
0+10.00	12" DIA. 12" DEEP INLET
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0+20.00	12" DIA. 12" DEEP INLET
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0+90.00	12" DIA. 12" DEEP INLET
0+95.00	12" DIA. 12" DEEP INLET
1+00.00	END OF POND

KEYNOTES

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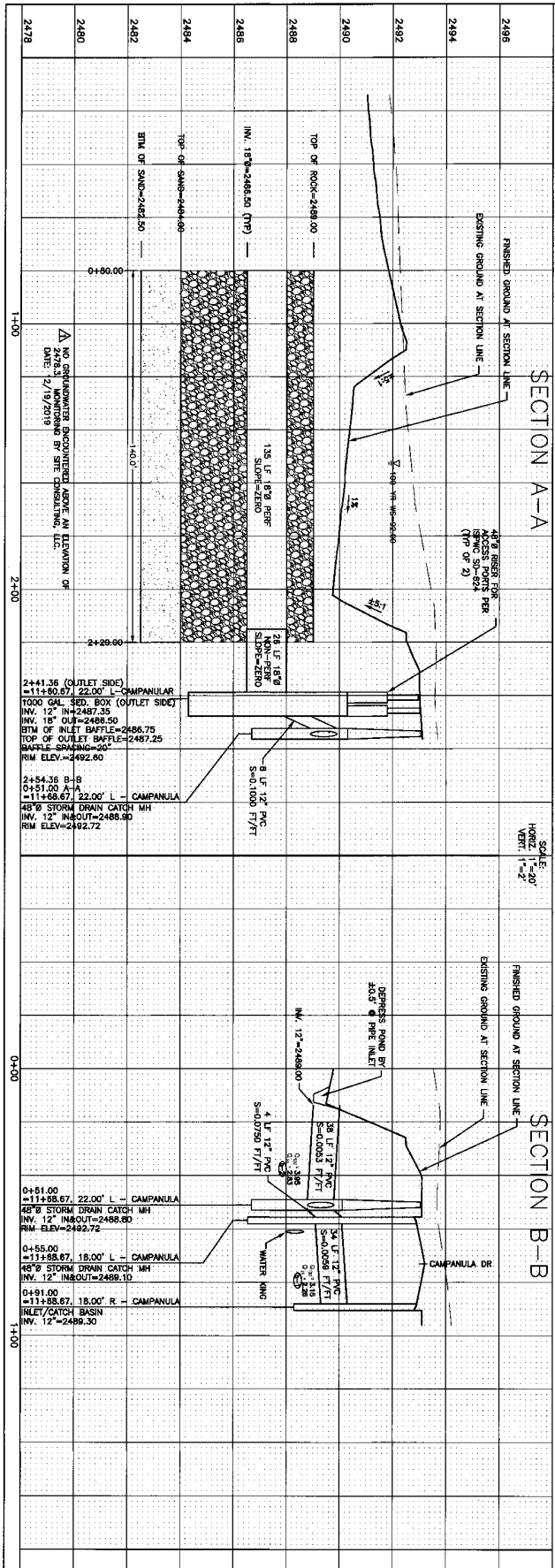
PIPE PERFORATION SCHEDULE

3/8" PERFORATIONS LOCATED IN WALLS OF DRAINAGE BASIN. PERFORATIONS SHALL BE SPACED AT 1'.

Plans Are Accepted For Public Street Construction

By *[Signature]* Date *1/17/20*

By *[Signature]* Date *1/17/20*



GREINERS HOPE SPRINGS SUB. No. 1

DRAINAGE PLAN & PROFILE

BASIN B DRAINAGE PLAN

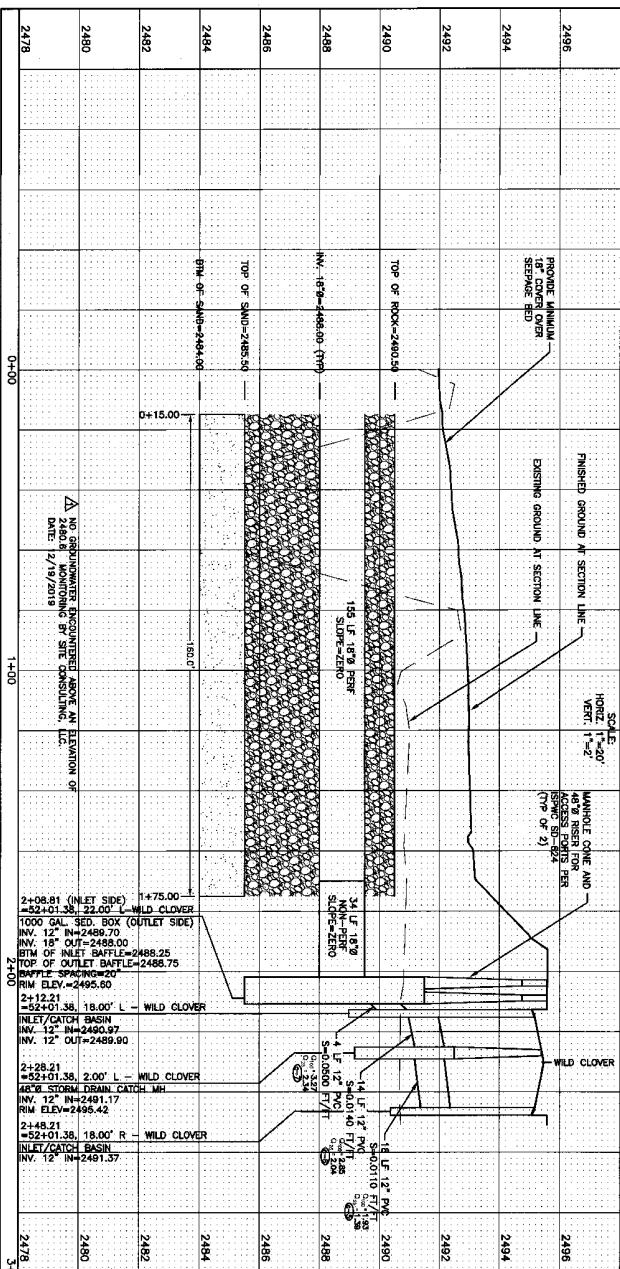
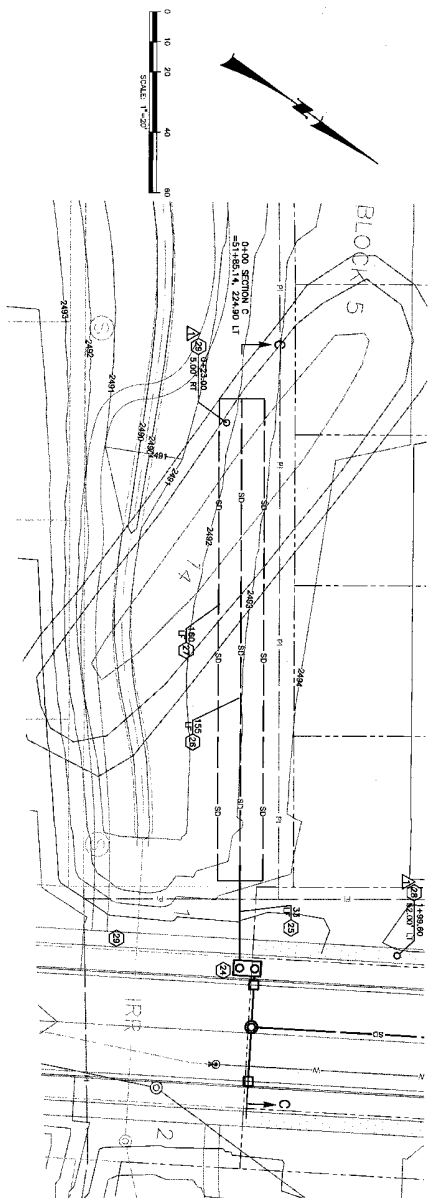
CIVIL SURVEY CONSULTANTS, INC.

CONSULTING ENGINEERS AND LAND SURVEYORS

2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 888-0325
Fax 888-0325
email: jmoney@civilsurvey.net

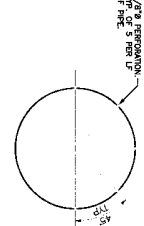
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NO.	ITEM	DATE	18048/Pmt1
1.	Revisions per ACHD review comments	1/17/20	DESIGNED
2.	Revisions per Keller/City of Star comments	1/28/20	DRAWN
3.	Revisions per Keller/City of Star comments	2/05/20	CHECKED
			APPROVED





KEYNOTES

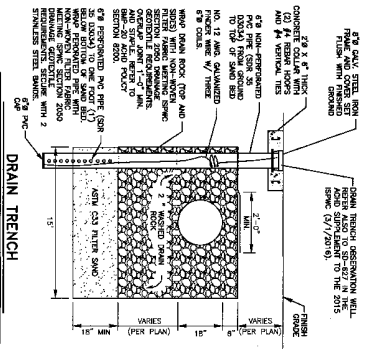
1. 1000 GALLON SEDIMENT BOX PER ISPC SD-624
2. 18\"/>



PIPE PERFORATION SCHEDULE

3/4\"/>

Plans Are Accepted For Public Street Construction



THE BOTTOM OF SAND ELEVATION SHOWN IS THE DESIGN EXCAVATION DEPTH. SOILS AT DESIGN DEPTH SHOULD BE EXCAVATED TO THE DESIGN ELEVATION. CONTACT THE ENGINEER 48 HOURS BEFORE EXCAVATION. CONTACT THE ENGINEER 48 HOURS BEFORE EXCAVATION. CONTACT THE ENGINEER 48 HOURS BEFORE EXCAVATION. CONTACT THE ENGINEER 48 HOURS BEFORE EXCAVATION.

REVISIONS			PROJECT NO.
NO.	DESCRIPTION	DATE	18048/Phat
1.	Revisions per ACHD review comments	1/17/20	DESIGNED
2.	Revisions per Kaller/City of Star comments	1/28/20	JPM
3.	Revisions per Kaller/City of Star comments	3/05/20	JRM/KC
			CHECKED
			APPROVED



GREINERS HOPE SPRINGS SUBDIVISION NO. 2

CONSTRUCTION PLANS
JULY 2020

A DEVELOPMENT BY
GREEN VILLAGE 2 DEVELOPMENT, INC.

PO BOX 372
EMMETT, IDAHO 83618
CONTACT: TUCKER JOHNSON
TJ@GVD2.COM
(208)377-4104

PLANS & SPECIFICATIONS REVIEW
These plans and specifications have been reviewed for compliance with the laws and regulations of the State of Idaho, and the City of Emmett, Idaho. The reviewer's responsibility is to design and construct the project in accordance with the laws and regulations of the State of Idaho, and the City of Emmett, Idaho. The reviewer is not responsible for the design and construction of the project.

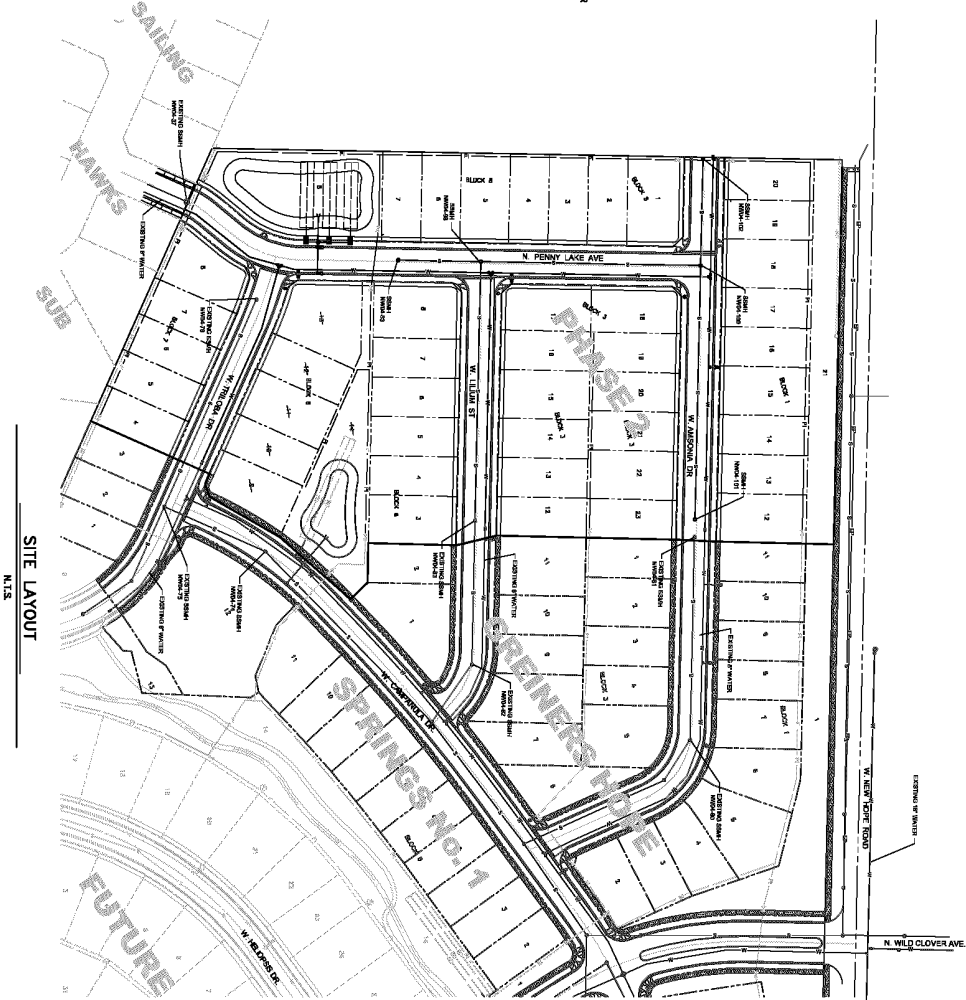
By: *[Signature]* Date: 7/1/20



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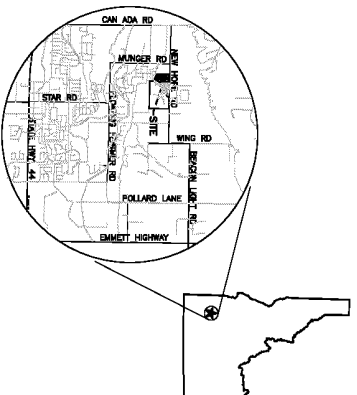
- CENTERLINE
- LOT LINE
- NEW DITCH, SPUR OR VALLEY GUTTER
- EXISTING UTILITY LINE
- EXISTING UTILITY LINE
- VALVE
- FIRE HYDRANT
- WATER BLOW-OFF
- WATER CLEANOUT
- EXISTING UTILITY POLE
- EXISTING JUNCTION BOX
- NEW JUNCTION BOX
- NEW STREET LIGHT
- MANHOLE
- STORM DRAIN INLET
- SEDIMENT BOX
- NEW REGULATION BOX
- NEW VERTICAL CURB & GUTTER
- NEW ROLLED CURB & GUTTER
- NEW CONCRETE SIDEWALK
- NEW CONCRETE PAVEMENT RAMP

CALL DOWNE
48 HOURS PRIOR TO EXCAVATION
AND TO REQUEST U.C. LOCATIONS



SITE LAYOUT
N.T.S.

LOCATION MAP



SHEET INDEX

1. TITLE SHEET
2. PROJECT NOTES
3. ROADWAY DETAILS/ MASTER NOTES
4. GROUND PLAN
5. ROADWAY PLANS - N. PENNY LAKE AVE
6. ROADWAY PLANS - W. MASON DRIVE
7. ROADWAY PLANS - W. TILDA STREET
8. ROADWAY PLANS - W. TILDA DRIVE
9. DRAINAGE PLANS - DRAINAGE BASIN A
10. WATER/SEWER PLANS - LINE 'C' - W. TILDA STREET
11. WATER/SEWER PLANS - LINE 'D' - W. TILDA STREET
12. WATER/SEWER PLANS - LINE 'E' - W. TILDA DRIVE
13. WATER/SEWER PLANS - LINE 'F' - W. TILDA DRIVE
14. PRESSURE IRRIGATION DISTRIBUTION PLAN
15. STREET LIGHT PLAN

BENCHMARKS

TM-1.1	BM - 1.1	BM - 1.1	BM - 1.1	BM - 1.1	BM - 1.1
TM-2.1	BM - 2.1	BM - 2.1	BM - 2.1	BM - 2.1	BM - 2.1
TM-2.2	BM - 2.2	BM - 2.2	BM - 2.2	BM - 2.2	BM - 2.2
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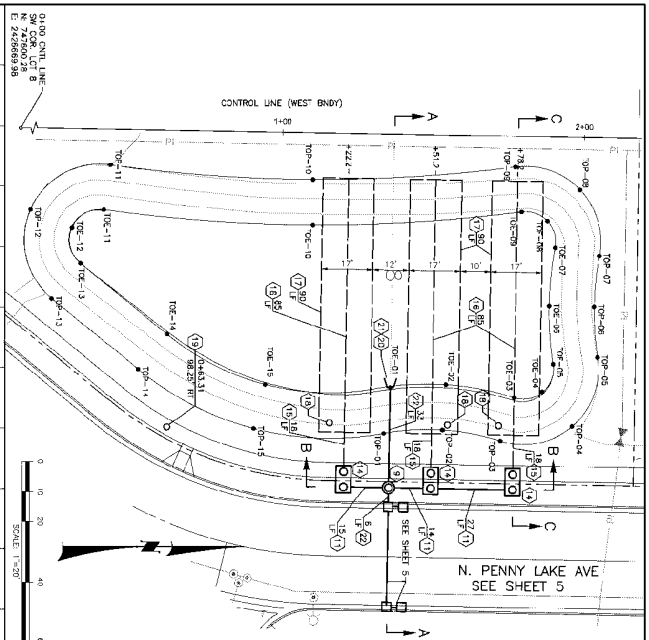
Plans are Accepted For Public
Street Construction
By the City of Emmett, Idaho, on the basis of the information provided by the applicant and the City of Emmett, Idaho. The City of Emmett, Idaho, is not responsible for the design and construction of the project.

DATE	DESCRIPTION
07/22/2020	DESIGNED
08/05/2020	CHECKED
08/05/2020	APPROVED

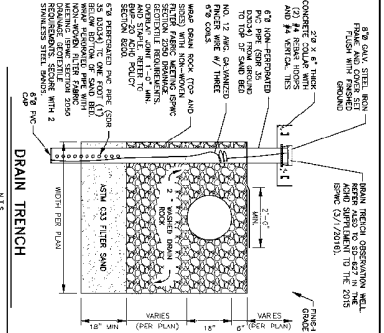
CIVIL SURVEY CONSULTANTS, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS
2895 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 668-4312
Fax: 888-632-2323
email: jmoney@cvlsurvey.net

NO.	REVISIONS	DATE	PROJECT NO.
1.	Revisions per ACHD comments	8/16/2020	18046/PM2
2.	Revisions per City of Star comments	8/26/2020	JRM
3.	Revisions per City of Star comments	7/26/2020	JRM/DCI
			CHECKED
			APPVED

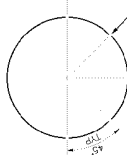




POINT	STATION	OFFSET	GRADE
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4	1+00.00	0.00	2487.50
5	1+00.00	0.00	2487.50
6	1+00.00	0.00	2487.50
7	1+00.00	0.00	2487.50
8	1+00.00	0.00	2487.50
9	1+00.00	0.00	2487.50
10	1+00.00	0.00	2487.50
11	1+00.00	0.00	2487.50
12	1+00.00	0.00	2487.50
13	1+00.00	0.00	2487.50
14	1+00.00	0.00	2487.50
15	1+00.00	0.00	2487.50



- ### KEYNOTES
- 4" STORM DRAIN CATCH BASIN (SCB-01)
 - 10" STORM DRAIN CATCH BASIN (SCB-02)
 - 10" STORM DRAIN CATCH BASIN (SCB-03)
 - 10" STORM DRAIN CATCH BASIN (SCB-04)
 - 10" STORM DRAIN CATCH BASIN (SCB-05)
 - 10" STORM DRAIN CATCH BASIN (SCB-06)
 - 10" STORM DRAIN CATCH BASIN (SCB-07)
 - 10" STORM DRAIN CATCH BASIN (SCB-08)
 - 10" STORM DRAIN CATCH BASIN (SCB-09)
 - 10" STORM DRAIN CATCH BASIN (SCB-10)
 - 10" STORM DRAIN CATCH BASIN (SCB-11)
 - 10" STORM DRAIN CATCH BASIN (SCB-12)
 - 10" STORM DRAIN CATCH BASIN (SCB-13)
 - 10" STORM DRAIN CATCH BASIN (SCB-14)
 - 10" STORM DRAIN CATCH BASIN (SCB-15)



PIPE PERFORATION SCHEDULE

Plans are Accepted for Public Street Construction

By the undersigned, I hereby certify that the above is a true and correct copy of the original plans and specifications for the above project, and that the same have been approved by me for the purpose of being used for the construction of the same.

DATE: 12/19/2019

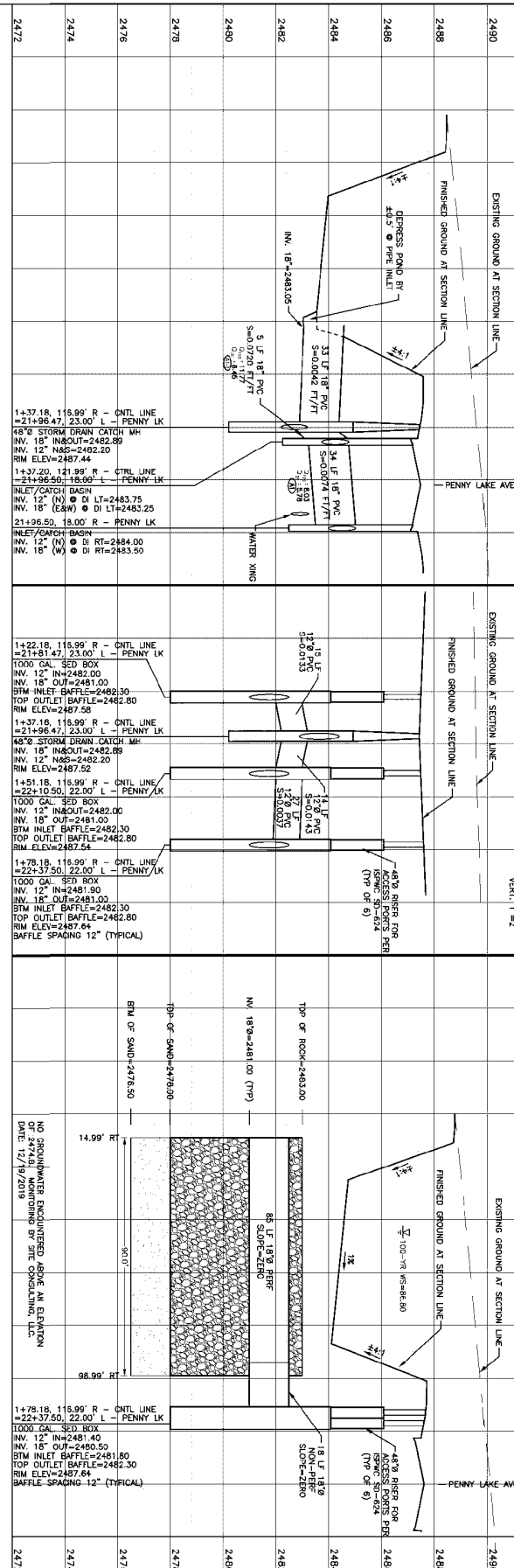
BY: [Signature]

0.000 CNT. LINE
N 24500.25 S
E 24500.25 E
24500.25

SECTION A-A

SECTION B-B

SECTION C-C



GREINERS HOPE SPRINGS SUB. No. 2

DRAINAGE PLAN & PROFILE

BASIN A DRAINAGE PLAN

CIVIL SURVEY CONSULTANTS, INC.

CONSULTING ENGINEERS AND LAND SURVEYORS

2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 688-4312
Fax: 688-888-0323
email: jmonney@civilsurvey.net

REVISIONS

NO.	ITEM	DATE
1	Revisions per ACHD comments	5/19/2020
2	Revisions per City of Star comments	6/26/2020

PROJECT NO.
18045/Ph2

DESIGNED
JRM

DRAWN
JRM/ECB

CHECKED
JRM

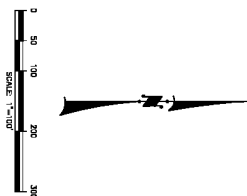
APPROVED
JRM

CONSTRUCTION PLANS

MARCH 2021

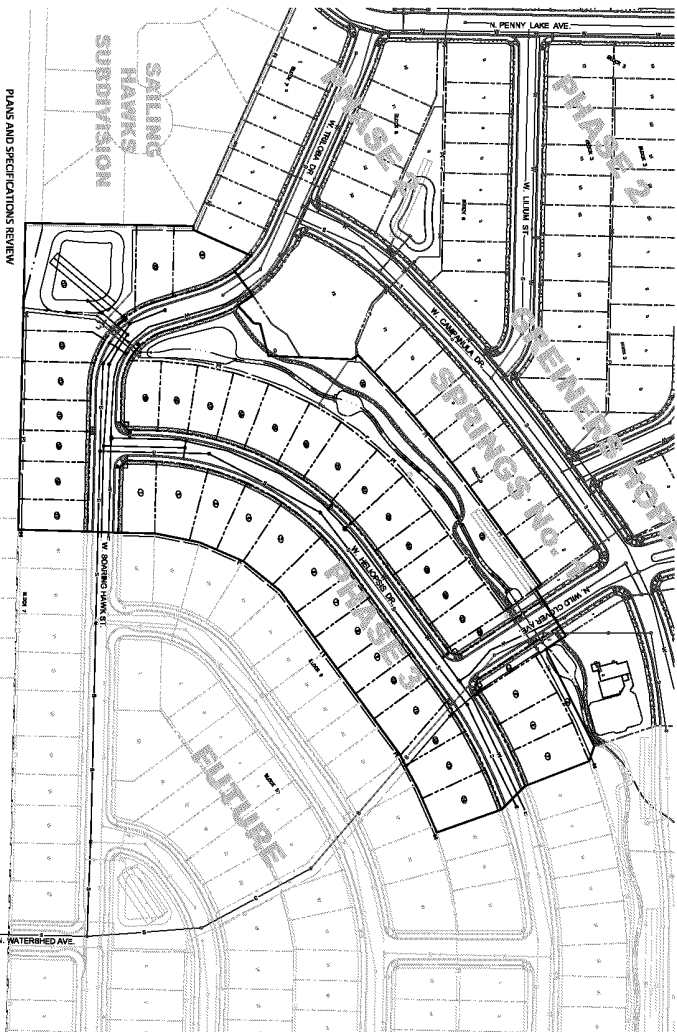
A DEVELOPMENT BY
GREEN VILLAGE 3 DEVELOPMENT, LLC

PO BOX 372
EAGLE, IDAHO 83616
CONTACT: TUCKER JOHNSON
TJ@skylined.com
(208)577-4104



LEGEND

- | | |
|--|------------------------------------|
| | CENTERLINE |
| | LOT LINE OR PIPE |
| | S.O. |
| | NEW DITCH, SWALE, OR VALLEY GUTTER |
| | EXISTING UTILITY LINE |
| | WATER MARK |
| | FIRE HYDRANT |
| | WATER BLOW-OFF |
| | SEWER CLEANOUT |
| | WATER SERVICE |
| | EXISTING UTILITY POLE |
| | NEW JUNCTION BOX |
| | NEW STREET LIGHT |
| | MANHOLE |
| | STORM DRAIN INLET |
| | SEWER VENT BOX |
| | NEW VERTICAL CURB & GUTTER |
| | NEW ROLLED CURB & GUTTER |
| | NEW CONCRETE SIDEWALK |
| | NEW CONCRETE PEDESTRIAN RAMP |



SITE LAYOUT

SCALE: 1"=100'

PLANS AND SPECIFICATIONS REVIEW

These plans and/or specifications have been reviewed for compliance with the Star Sewer & Water District standards. This review does not relieve the owner, the owner's representatives, the owner's engineer, and the contractor of their

CALL DIGLINE
48 HOURS PRIOR TO EXCAVATION
PHONE 1-800-342-1585

DATE: 4/12/2021
 BY: [Signature]
 KELLER ASSOCIATES, INC. • 208-288-1992

Plans Are Accepted For Public Street Construction

By stipulating and signing the improvement plans, the Flagstaff
Employee certifies the District that the plans conform to all District
policies and standards. Variations or waivers must be approved by the
and previously approved by the District in writing. Acceptance of
the improvement plans by the District does not relieve the
Responsible Engineer of those responsibilities.

Michael J. Dierker DATE: 3/29/21
ADIC COUNTY #163994 DISTRICT

SHEET INDEX

1. TITLE SHEET
2. PROJECT NOTES
3. ROOMS/ DETAILS / WATER NOTES
4. DRAINING CONDITIONS / IDEO PLAN
5. GROUND PLAN
6. ROOMS/ PLANS - W. TILED PL. / SQUARING HARK ST.
7. ROOMS/ PLANS - W. KILNDRIPS DOME
8. ROOMS/ PLANS - W. KILNDRIPS DOME
9. ROOMS/ PLANS - W. MILD CLAYERS ANGLE
10. ROOMS/ PLANS - SHED - N - PEPS & SHED TITCH
11. ROOMS/ PLANS - SHED - N - SHED LAYOUT
12. SHEDS & WATER PLANS - LINE T - W. SQUARING HARK ST.
13. SHEDS & WATER PLANS - LINE T - W. SQUARING HARK ST. / TILED ON
14. SHEDS & WATER PLANS - LINE T - W. KILNDRIPS DOME
15. SHEDS & WATER PLANS - LINE T - W. KILNDRIPS DOME
16. SHEDS & WATER PLANS - W. MILD CLAYERS ANG.
17. ISOLATION BLOCK - PLANS & PERMITS
18. ISOLATION BLOCK - PLANS & PERMITS
19. PRESSURE ISOLATION DISTRIBUTION PLAN
20. STREET LIGHT PLAN
21. OVERALL UTILITY LAYOUT

BENCHMARKS

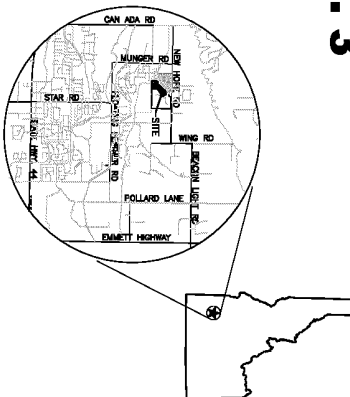
TM-3-1
CHISELED BOX IN BACK OF CURB - TILLODA DR 74+60, 18' LT
ELEV. = 2492.50

TM-3-2
5/8" IRON PIPE W/ CAP - SOUTHERN HWY 75+42.1, 130' RT
ELEV. = 2492.36

TM-3-3
CHISELED BOX IN BACK OF CURB - WILD CLOVER 55+14, 18' RT
ELEV. = 2493.61

DATE: NOV 88

LOCATION MAP



REVISIONS			PROJECT NO.
NO.	ITEM	DATE	18046/Pth3
1.	Revisions per City of Sioux Falls comments	12/30/2020	DESIGNED
2.	Revisions per ACDH comments	1/25/2021	JRM
3.	Revisions per City of Sioux Falls comments	3/05/2021	DRAWN
			JRM/LJP
			CHECKED
			LJP
			APPROVED



GREINERS HOPE SPRINGS SUB. No. 3

CONSTRUCTION PLANS

TITLE SHEET

CIVIL SURVEY CONSULTANTS, INC
CONSULTING ENGINEERS AND LAND SURVEYORS

2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312
Fax 888-0323
email: money@civilsurvey.net

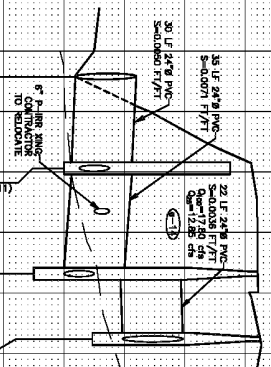
DATE: 03/28/2021
DRAWING: SHUTO-1-TITLE GHSS
JOB NO: 18048/PHASE 3
SHEET 1 OF 21

-

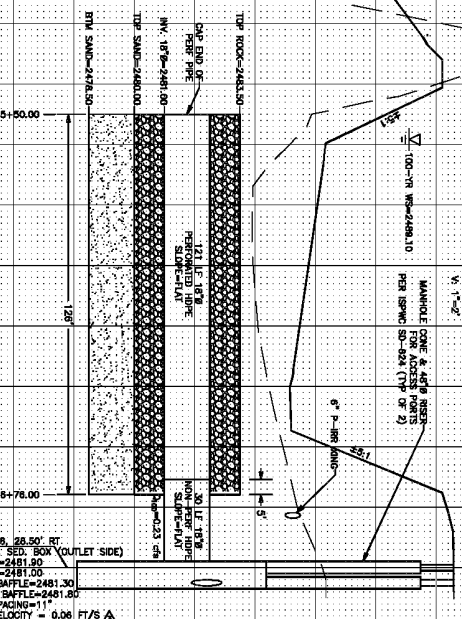
PIPE PERFORATION
SCHEDULE

3/8" PERFORATIONS LOCATED IN VALLEY OF CORRUGATED PIPE. PERFORATIONS SHALL BE IN TOP HALF OF PIPE ONLY. PERFORATIONS SHALL BE SPACED AT 1 ± 0.5 LONGITUDINALLY.

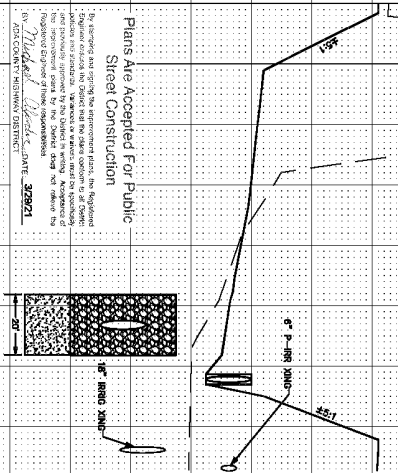
SECTION A-A



SECTION B-B



SECTION C-C



Plans Are Accepted For Public Street Construction

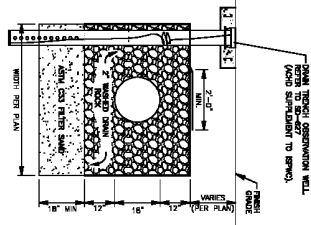
By signing and sending this improvement plan, the Respondent agrees to the District that the action conform to all District policies and standards. Variations or waivers must be pre-approved by the District in writing. Acceptance of this improvement plan by the District does not remove the Respondent's liability of these issues/occurrences.

Signed: _____ DATE: 3/29/21

BY: Michael Edwards

AND: _____

BY: _____ DATE: _____

[illegible]

REFER TO ACHD SD-827 FOR MORE DETAIL.
DESIGN PERCOLATION RATE = 4 IN/HR.

NOTE: ACID STUFF MUST VENTILATE AT RATE AFTER FACILITY IS FULLY EXHAUSTED. ACID STUFF MUST BE INSPECTED AT 15 MIN. AND MIN. 5 FEET FROM FACILITY. IF INSPECTOR FINDS ANY ACID STUFF, THE FACILITY MUST BE STOPPED. IF BOTTOM DESIGN ELEVATION FOR ANY INFILTRATION FACILITY AND/OR PITS IS HIGHER THAN ANTICIPATED, CONTRACTOR SHALL COORDINATE WITH ACID INSPECTOR DURING CONSTRUCTION AND PRIOR TO BACKFILLING.

REVISIONS			PROJECT NO.
NO.	ITEM	DATE	18046/Fm3
1.	Revisions per City of Stor/SNO comments	12/30/2020	DESIGNED
2.	Revisions per AGHD comments	1/26/2021	JRM
3.	Revisions per City of Stor/SNO comments	3/06/2021	DRAWN
			JRM/JLP
			CHECKED
			CJP
			APPROVED

CIVIL SURVEY CONSULTANTS, INC
CONSULTING ENGINEERS AND LAND SURVEYORS

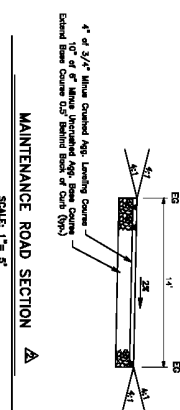
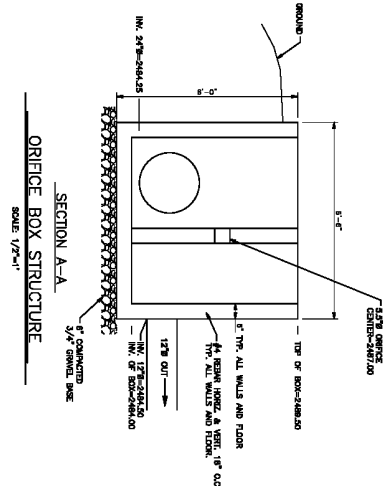
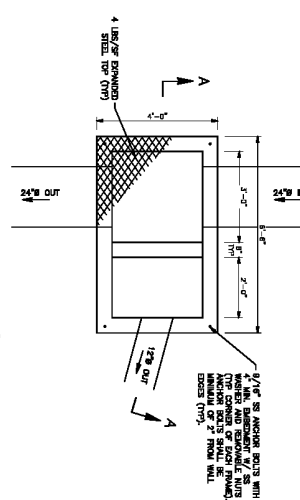
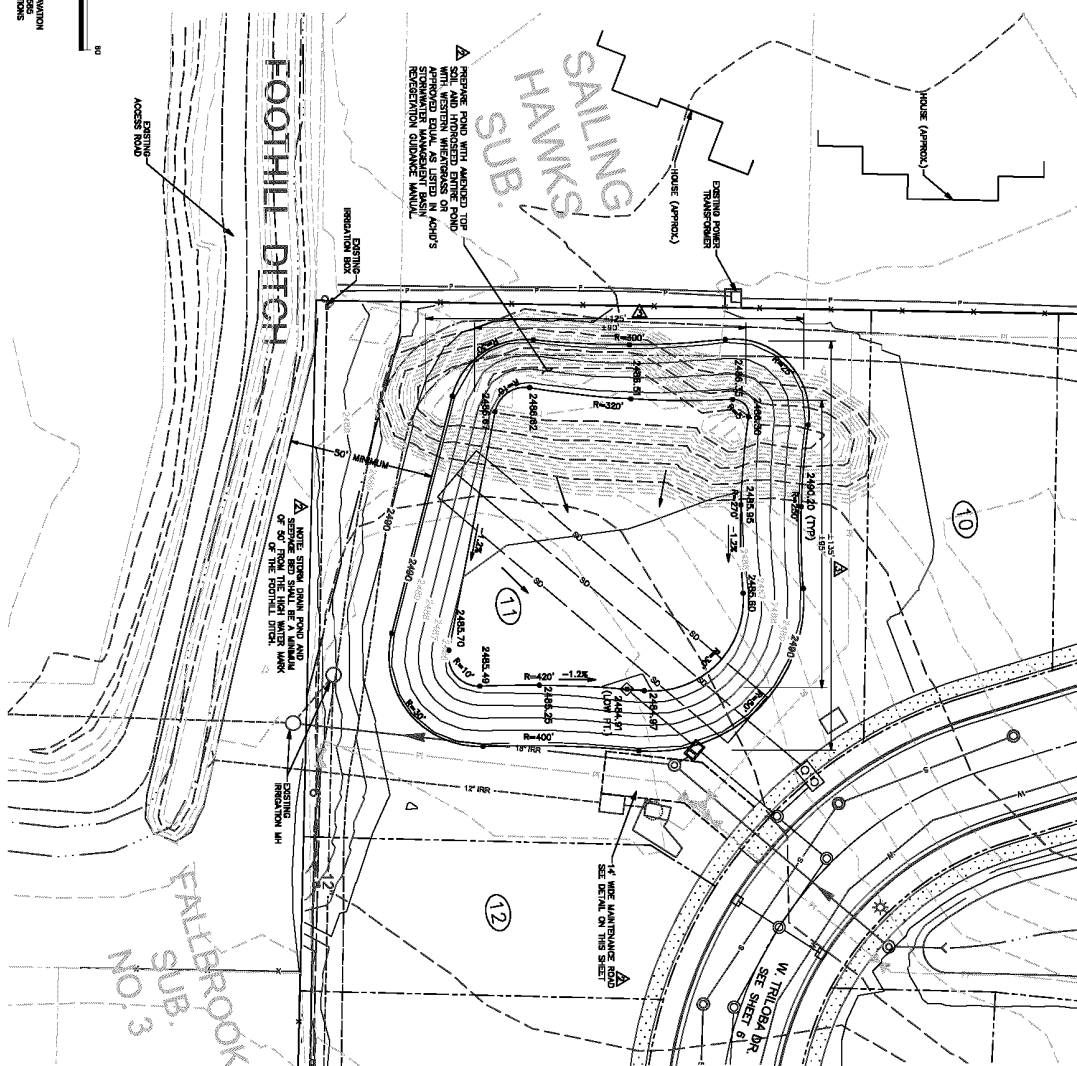
2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)858-4312
Fax 888-0323
email: jmoney@civilsurvey.net

GREINERS HOPE SPRINGS SUB. No. 3

DRAINAGE PLANS

BASIN E - PIPE & DRAIN TRENCH

DATE: 03/23/2021
DRAWING: GHSL_Drillings
JOB NO: 18048/PHASE 3
SHEET 10 OF 21



Plans Are Accepted For Public Street Construction

REVISIONS			PROJECT NO.
NO.	ITEM	DATE	18048/P/Ph3
1.	Revisions per City of Stor/S390 comments	12/30/2020	DESIGNED
2.	Revisions per AQHD comments	1/26/2021	JRM
3.	Revisions per City of Stor/S390 comments	3/05/2021	DRAWN
			JRM/LAP
			CHECKED
			CAP
			APPROVED



SHEET 11 OF 2	GREINERS HOPE SPRINGS SUB. No. 3
	DRAINAGE PLANS
	BASIN E - POND LAYOUT

CIVIL SURVEY CONSULTANTS, INC
CONSULTING ENGINEERS AND LAND SURVEYORS

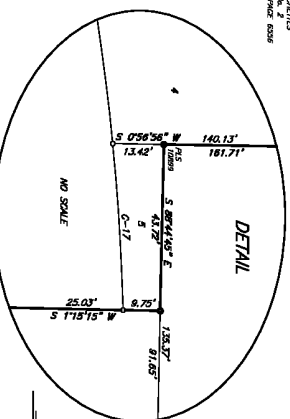
2893 S. MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312
Fax: 888-0323
email: msurvey@volsurvey.net

Appendix C

Final Plats and Easements

LOCATED IN THE S 1/2 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO, AND BEING A REPLAT OF A PART OF RUSTY SPUR RANCHETTES SUBDIVISION AND RUSTY SPUR RANCHETTES SUBDIVISION No. 2
A DEVELOPMENT BY GREEN VILLAGE 2 DEVELOPMENT, INC.

TSN R1W 31.32 CABLE NO.
14N R1W 6.5 2017-051896
PLS
7729



CIVIL SURVEY CONSULTANTS, INC.
2883 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 888-4312

SHEET 2 OF 4

2020



THE PLANT OF OGDENBROOK HOME SPRINGS SUBDIVISION WAS MADE AT THE REQUEST OF LORENZO JOHNSON, PRESIDENT OF GREEN VALLEY 2 DEVELOPMENT, INC., AN EDAW BLOCK OF FIRST STATE BANKERS SUBDIVISION AS SHOWN IN BOOK 4 OF PLATS AT PAGE 667 AND PART OF LOTS 5 AND 6 OF BLOCK 1 OF FIRST STATE BANKERS SUBDIVISION AS SHOWN IN BOOK 4 OF PLATS AT PAGE 658B ON THE OTHER SIDE OF THE RECORD, AND COULDN'T BE LOCATED.

THE BOUNDARY LINES FOR THE PARTS OF LAND OF EACH CLAIMANTS THIS THE ADJACENTS ALONG THE BOUNDARY AS SHOWN IN RECORD OF SURVEY NO. 11783 AND 11804 FOR THIS SUBDIVISION WERE FOUND IN PLACE AND UNDISTURBED AND THE ADJACENT CLAIMANTS WERE NOT OBJECTING TO THE SURVEY.

THE ADJACENT CLAIMANTS WERE NOT OBJECTING TO THE SURVEY AS SHOWN HEREON.

CLONAL DATA, INC.										CLONE DATA			
LINE DATA										CLONE DATA			
LINE	SEEDING	DISTANCE	CLIRE	DELTA	ROLLS	ARC	TANGENT	CHORD	CHORD BRING				
L-1	5 1715/150 F	98.617	C-1	1720.53	175.00	31.70	18.92	31.63	N 4314.50 W				
L-2	5 1715/150 F	98.617	C-2	2134.22	532.00			198.45	N 3307.01 E				
L-3	5 1715/150 F	98.617	C-3	2658.27	23.98			31.09	S 2202.42 E				
L-4	5 1715/150 F	98.617	C-4	2658.27	23.98			31.09	N 7516.03 E				
L-5	5 1715/150 F	98.617	C-5	2658.27	23.98			31.09	S 2202.42 E				
L-6	5 1715/150 F	98.617	C-6	2658.27	23.98			31.09	N 7516.03 E				
L-7	5 1715/150 F	98.617	C-7	2658.27	23.98			31.09	S 2202.42 E				
L-8	5 1715/150 F	98.617	C-8	2658.27	23.98			31.09	N 7516.03 E				
L-9	5 1715/150 F	98.617	C-9	2658.27	23.98			31.09	S 2202.42 E				
L-10	5 1715/150 F	98.617	C-10	2658.27	23.98			31.09	N 7516.03 E				
L-11	5 1715/150 F	98.617	C-11	2658.27	23.98			31.09	S 2202.42 E				
L-12	5 1715/150 F	98.617	C-12	2658.27	23.98			31.09	N 7516.03 E				
L-13	5 1715/150 F	98.617	C-13	2658.27	23.98			31.09	S 2202.42 E				
L-14	5 1715/150 F	98.617	C-14	2658.27	23.98			31.09	N 7516.03 E				
L-15	5 1715/150 F	98.617	C-15	2658.27	23.98			31.09	S 2202.42 E				
L-16	5 1715/150 F	98.617	C-16	2658.27	23.98			31.09	N 7516.03 E				
L-17	5 1715/150 F	98.617	C-17	2658.27	23.98			31.09	S 2202.42 E				
L-18	5 1715/150 F	98.617	C-18	2658.27	23.98			31.09	N 7516.03 E				
L-19	5 1715/150 F	98.617	C-19	2658.27	23.98			31.09	S 2202.42 E				
L-20	5 1715/150 F	98.617	C-20	2658.27	23.98			31.09	N 7516.03 E				
L-21	5 1715/150 F	98.617	C-21	2658.27	23.98			31.09	S 2202.42 E				
L-22	5 1715/150 F	98.617	C-22	2658.27	23.98			31.09	N 7516.03 E				
L-23	5 1715/150 F	98.617	C-23	2658.27	23.98			31.09	S 2202.42 E				
L-24	5 1715/150 F	98.617	C-24	2658.27	23.98			31.09	N 7516.03 E				
L-25	5 1715/150 F	98.617	C-25	2658.27	23.98			31.09	S 2202.42 E				
L-26	5 1715/150 F	98.617	C-26	2658.27	23.98			31.09	N 7516.03 E				
L-27	5 1715/150 F	98.617	C-27	2658.27	23.98			31.09	S 2202.42 E				
L-28	5 1715/150 F	98.617	C-28	2658.27	23.98			31.09	N 7516.03 E				
L-29	5 1715/150 F	98.617	C-29	2658.27	23.98			31.09	S 2202.42 E				
L-30	5 1715/150 F	98.617	C-30	2658.27	23.98			31.09	N 7516.03 E				
L-31	5 1715/150 F	98.617	C-31	2658.27	23.98			31.09	S 2202.42 E				
L-32	5 1715/150 F	98.617	C-32	2658.27	23.98			31.09	N 7516.03 E				
L-33	5 1715/150 F	98.617	C-33	2658.27	23.98			31.09	S 2202.42 E				
L-34	5 1715/150 F	98.617	C-34	2658.27	23.98			31.09	N 7516.03 E				
L-35	5 1715/150 F	98.617	C-35	2658.27	23.98			31.09	S 2202.42 E				

LOCATED IN THE S 1/2 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR
ADA COUNTY, IDAHO AND BEING A REPLAT OF A PART OF LOTS 2 AND 4 OF RUSTY SPUR RANCHETTES SUBDIVISION

A DEVELOPMENT BY GREEN VILLAGE 2 DEVELOPMENT, INC.

2020

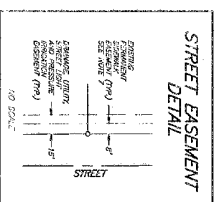


CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD	CHORD BEING	LINE BEARING	LINE DATA
C-1	21° 42'	525.50	139.85	51.55	194.46	N 257.43° E	L 1	194.46
C-2	11° 14'	535.00	107.77	50.80	102.80	N 281.43° E	L 1	102.80
C-3	10° 12'	525.00	98.56	48.43	59.52	N 44.92° E	L 1	59.52
C-5	10° 44'	525.50	61.96	31.02	61.85	N 44.92° E	L 1	61.85
C-6	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
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C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 329.74° E	L 1	61.85
C-9	10° 44'	525.50	61.96	31.02	61.85	N 132.92° E	L 1	61.85
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SURVEYOR NARRATIVE

[illegible]

**STREET EASEMENT
DETAIL**



REFERENCES

REFERENCE RECORD OF SURVEY NUMBERS:
 1229, 1249, 2473, 4087, 11785, 11809

LEGEND

- SET 3/8" IRON PIN WITH PLS 10780
 PLASTIC CAP
 FOUND 5/8" IRON PIN WITH PLS 181
 PLASTIC CAP OR AS LABELED
 FOUND ALUMINUM CAP EQUIPMENT
 FOUND 1/2" IRON PIN WITH PLS 181
 PLASTIC CAP OR AS LABELED
 SET 1/2" IRON PIN WITH PLS 10780
 PLASTIC CAP
 CALCULATED POINT = NOTHING SET

SEE SHEET 2 FOR NOTES

CIVIL SURVEY CONSULTANTS, INC.

MERIDIAN, IDAHO 8
(208) 888-4511

SHEET 1 OF 4

GREINERS HOPE SPRINGS SUBDIVISION No. 2

NOTES

1. THE DEVELOPMENT OF THIS PROPERTY SHALL BE IN CONFORMANCE WITH THE ZONING ORDINANCE OR AS SPECIFICALLY APPROVED BY THE NO. 42-18-0024-18-0024-18-03.
2. ALL LOTS HAVE A 10 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES LOT OWNERS PRESSURE INJECTION AND STORM WATER DRAINAGE SYSTEMS TO ALL PROPERTIES. ALL NEIGH LOT LINES HAVE A 10 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES LOT OWNERS PRESSURE INJECTION AND STORM WATER DRAINAGE SYSTEMS. THE PRESSURE INJECTION SYSTEM IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION. THE OTHER EASEMENTS ARE AS SHOWN.
3. ANYWHERE BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR AS SPECIFICALLY APPROVED AND/OR REQUIRED, OR AS SHOWN ON THIS PLAN.
4. BUILDING AND OCCUPANCY SHALL COMPLY WITH THE SPECIFICATIONS ESTABLISHED BY THE RELEVANT CODES TO BE FILED IN THE OFFICE OF THE RECORDER, ADJ. COUNTY, MO.
5. ANY RE-DEVELOPMENT OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-DEVELOPMENT.
6. THIS DEVELOPMENT PROVIDES SECTION 22-4303 OF THE PLAT CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURE, AGRICULTURAL, AGRICULTURAL-RELATED ACTIVITIES, OR AGRICULTURAL-RELATED ACTIVITIES SHALL BE CONSIDERED TO BE A VIOLATION OF THE PLAT CODE (1) UNTIL THE DEVELOPMENT HAS NOT A VIOLATION AT THE TIME IT BECAME OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A VIOLATION RESULTS FROM THE IMPROVEMENT OR REDEVELOPMENT OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
7. LOTS 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 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LOCATED IN THE S 1/2 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO AND BEING A REPLAT OF A PART OF LOT 4 OF BLOCK 1 OF RUSTY SPUR RANCHETTES AND A PART OF LOTS 5, 6, AND 9 OF BLOCK 1 OF RUSTY SPUR RANCHETTES NO. 2

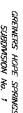
A DEVELOPMENT BY GREEN VILLAGE 3 DEVELOPMENT, LLC

2021

3

GREEN VILLAGE 3 DEVELOPMENT, LLC

A DEVELOPMENT BY GREEN VILLAGE 3 DEVELOPMENT, LLC



LEGEND

SUBDIVISION BOUNDARY
 SET 3/8"x24" IRON PIN WITH FLS 10/800
 FLASTIC CAP OR AS NOTED
 FOUND 1/2" IRON PIN WITH FLS 10/800
 FLASTIC CAP OR AS NOTED
 FOUND 1/2" IRON PIN WITH FLS 10/800
 FLASTIC CAP OR AS NOTED
 FOUND ALUMINUM CAP ADJACENT
 SET 1/2"x24" IRON PIN WITH FLS 10/800
 FLASTIC CAP
 CALCULATED POINT, NOTHING SET
 W/INS CORNER
 W.C.
 SECTION LINE
 STREET CENTERLINE
 LOT LINE
 EXISTING LOT LINE
 EASEMENT LINE

CIVIL SURVEY CONSULTANTS, INC.

MERIDIAN, IDAHO 83642
(208) 888-4112

MAN, IDAHO 83642
888-41112

83642
1117

SHEET 1 OF 4

GREINERS HOPE SPRINGS SUBDIVISION NO. 3

LINE DATA		
LINE	BEARING	DISTANCE
1-1	S 48°56'31" W	8.601
1-2	N 2°15'52" E	10.953
1-3	N 33°39'22" E	12.562
1-4	N 40°51'20" E	38.001
1-5	N 44°40'38" E	48.839
1-6	N 44°40'38" E	48.839
1-7	N 50°12'19" E	48.839
1-8	N 51°14'00" E	49.393
1-9	N 52°40'00" E	48.835
1-10	S 38°11'31" E	22.255
1-11	S 60°51'03" E	35.571
1-12	S 64°17'29" E	29.871
1-13	N 32°34'19" E	20.517
1-14	N 40°21'15" E	18.787
1-15	N 40°21'15" E	18.787
1-16	S 10°21'14" W	11.809
1-17	S 49°15'00" E	18.656
1-18	S 49°15'00" E	18.656
1-19	S 49°15'00" E	18.656

CURVE		CURVE DATA		CHORD		CHORD BRNG.	
CURVE	DELTA	RADIUS	ARC	TANGENT	INCH	DEG.	DEG.
C-1	17-20-13	15.06	31.70	15.06	30.13	5	41.4
C-2	17-20-13	15.06	30.75	15.06	30.13	5	41.4
C-3	17-20-13	15.06	29.50	15.06	30.13	5	41.4
C-4	17-21-14	16.50	156.76	90.57	166.69	5	56.4
C-5	32-27-16	44.00	402.81	216.76	386.69	5	56.4
C-6	31-26-28	38.50	341.26	216.76	386.69	5	56.4
C-7	17-21-14	16.50	156.76	90.57	166.69	5	56.4
C-8	17-21-14	16.50	156.00	108.69	176.35	5	56.4
C-9	17-21-14	16.50	156.00	112.27	176.35	5	56.4
C-10	17-21-14	16.50	156.00	112.27	176.35	5	56.4
C-11	17-21-14	16.50	156.00	112.27	176.35	5	56.4
C-12	36-21-15	150.00	83.00	35.19	66.48	5	44.1
C-13	15-27-06	150.00	41.32	30.19	60.81	5	40.8
C-14	15-27-06	150.00	41.32	30.19	60.81	5	40.8
C-15	40-07-09	100.00	78.72	41.51	76.70	5	39.0
C-16	36-24-06	100.00	46.68	33.76	46.32	5	39.0
C-17	36-24-06	100.00	46.68	33.76	46.32	5	39.0
C-18	36-24-06	100.00	46.68	33.76	46.32	5	39.0
C-19	36-24-06	100.00	46.68	33.76	46.32	5	39.0
C-20	36-24-06	100.00	46.68	33.76	46.32	5	39.0
C-21	36-24-06	100.00	46.68	33.76	46.32	5	39.0
C-22	60-23-21	465.00	46.72	24.40	46.72	5	48.2
C-23	72-8-17	465.00	62.13	30.33	60.32	5	48.2
C-24	72-8-17	465.00	62.13	30.33	60.32	5	48.2
C-25	72-8-17	465.00	62.13	30.33	60.32	5	48.2
C-26	72-8-17	465.00	62.13	30.33	60.32	5	48.2
C-27	60-23-21	465.00	46.72	24.40	46.72	5	48.2
C-28	60-23-21	465.00	46.72	24.40	46.72	5	48.2
C-29	60-23-21	465.00	46.72	24.40	46.72	5	48.2
C-30	60-23-21	465.00	46.72	24.40	46.72	5	48.2
C-31	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-32	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-33	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-34	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-35	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-36	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-37	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-38	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-39	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-40	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-41	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-42	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-43	11-32-11	41.00	11.01	6.02	12.03	5	20.5
C-44	11-32-11	41.00	11.01	6.02	12.03	5	20.5

NOTES

1. THE DEVELOPMENT OF THIS PROPERTY SHALL BE IN COMPLIANCE WITH THE ZONING ORDINANCE OR AS SPECIFICALLY AUTHORIZED BY FILE NO. 02-19-0200-19-06/19-10-01.
2. ALL LOTS THAT ARE 1 FOOT WIDE EXISTING FOR PUBLIC UTILITIES, LOT DRAINAGE, PRESSURE IRRIGATION AND STREET LIGHT FUNDINGS CONTRACTS TO BE MAINTAINED BY THE HOPE SPERMOS OWNERS ASSOCIATION, SHALL BE REMOVED FROM THE PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURE IRRIGATION CONTRACTS. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPERMOS OWNERS ASSOCIATION, ALL OTHER EASEMENTS ARE AS SHOWN.
3. MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF SALT LAKE COUNTY ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF AN INDIVIDUAL BUILDING PERMIT OR AS SPECIFICALLY APPROVED AND/OR REQUIRED, OR AS SHOWN ON THIS PLAN.
4. BUILDING AND OCCUPANCY SHALL CONFORM TO THE ZONING, COVENANTS, CONDITIONS, AND RESTRICTIONS (CC&R's) RECORDED AS INSTRUMENT NO. 2020-1070786.
5. ANY RE- SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
6. THIS DEVELOPMENT REQUESTS SECTION 22-4001 OF THE UTAH CODE, RIGHT TO FARM ACT, MOUNT STATES, NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXTENSION THEREOF, SHALL BE OR BECOME A RESIDENCE, PRIVATE OR PUBLIC, OR ANY OTHER CHANGING IN OR ABOUT THE SURROUNDING IMMEDIATELY ADJACENT AREAS AFTER IT HAS BEEN AN OPERATION FOR MORE THAN ONE (1) YEAR, WITHIN THE OPERATION FACILITY OR EXTENSION THEREOF, SHALL BE THE IMPROVED OR RESIDENTIAL OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXTENSION THEREOF. RESIDENCE RESULTS FROM THE IMPROVED OR RESIDENTIAL OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXTENSION THEREOF."
7. LOTS ADJOINING PUBLIC RIGHT-OF-WAY ARE SUBJECT TO AN EXISTING FUTURE EASEMENT CONTRACTS TO ALL SHEETS AS RECORDED IN INSTRUMENT NO. 2020-1070786.
8. CHANGING HOPE SPERMOS SUBDIVISION NO. 2 IS SUBJECT TO A LICENSE AGREEMENT WITH ACAD FOR LANDSCAPING AS DESCRIBED IN INSTRUMENT NO. 2020-1070786.
9. DIRECT LOT ACCESS TO N. WILD CLOVER AVENUE IS PROHIBITED.
10. LOT 3 OF BLOCK 4, LOTS 14 AND 28 OF BLOCK 5, LOT 11 OF BLOCK 7 AND LOT 12 OF BLOCK 9 ARE LANDSCAPE COMMON LOTS WHICH SHALL BE OWNED AND MAINTAINED BY THE HOPE SPERMOS OWNERS ASSOCIATION, INC. SAID LOTS ARE SUBJECT TO A LICENSE AGREEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURE IRRIGATION CONTRACTS. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPERMOS OWNERS ASSOCIATION, INC.
11. LOT 1 OF BLOCK 5, LOTS 14 AND 28 OF BLOCK 5, LOT 11 OF BLOCK 7 AND LOT 12 OF BLOCK 9 ARE SERVING TO AND CONTAIN THE ACAD STORM WATER DRAINAGE SYSTEM. THESE LOTS ARE SUBJECT TO A LICENSE AGREEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURE IRRIGATION CONTRACTS. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPERMOS OWNERS ASSOCIATION, INC.
12. THE MASTER EASEMENT AND THE STORM WATER DRAINAGE SYSTEM IS DEDICATED TO AND FOR PASSENGER TO SECTION 40-20-202 DATED CODE 2010-100508, OFFICIAL RECORDS OF ADA COUNTY AND INCORPORATED HEREIN BY THE REFERENCE AS IF SET FORTH IN FULL. THE MASTER EASEMENT IS OWNED AND MAINTAINED BY THE HOPE SPERMOS OWNERS ASSOCIATION, INC.
13. EASEMENTS AS PLATED BY REPLY SHEET NUMBERS THAT ATTACH THIS SUBDIVISION HAVE BEEN INCURRED BY BOTH THE CITY OF SALT LAKE AND BY THE HOPE SPERMOS OWNERS ASSOCIATION, INC. FOR THE PURPOSES OF THE SUBDIVISION. SEE SITE WORKSHEET FILE NO. 20-01-01.
14. LOTS 4 AND 8 ON SHEET 1.
15. LOT 1 OF BLOCK 7 AND LOT 12 OF BLOCK 9 ARE SUBJECT TO AN EXISTING SURVEY SPLIT EASEMENT PER INSTRUMENT NO. 108093888. SEE DETAIL SHEET 1.
16. LOT 11 OF BLOCK 7 IS SUBJECT TO A COUNTY IRRIGATION EASEMENT HEAVILY REMOVED FOR THE FORMAL DITCH FOR THE BENEFIT OF IRRIGATION FUNDING ASSOCIATION AND IRRIGATION DITCH COMPANY AND THE FARMERS DRAIN DITCH COMPANY, OR ITS ASSIGNS, AND IS SHOWN HEREIN.

REFERENCES

REFERENCE RECORD OF SURVEY NUMBERS

REFERENCE PLATS OF: _____

RUSTY SPUR RANCHETTES
RUSTY SPUR RANCHETTES NO. 2

SAILING HAWKS SUBDIVISION

GREENERS HOPE SPRINGS NO. 2

FALLBROOK SUBDIVISION NO. 3

11

REVEYOR NAKHA

THIS DOCUMENT IS A CONTINUATION OF

OF A PART OF LOT 4 OF BLOCK 1
5 6 AND 9 OF BLOCK 1 OF PHASE

RECORDED, ADA COUNTY, IDAHO.

BOUNDED TO THE NORTH AND EAST

ENDED ON THE WEST BY GREENE'S HILL, AND CONSIDERED AS SHOWN IN FIGURE 1.

AND DISCUSSION OF CURRENT RESEARCH

SHOWN ON RECORD OF SURVEY NO.

REMAINING PROPERTY LINES WERE

NETTES AND BY RUSTY SPUR RANCH

VACATED BY THE CITY OF STAR AND
ASSIGNMENTS ARE SHOWN HEREON.

SURVEYOR NARRATIVE

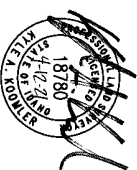
THE PLANT OF GENEWICKS SHEDS SHEDDING NO. 1, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 83

CIVIL SURVEY CONSULTANTS, INC.

2893 SOUTH MERIDIAN ROAD

MERIDIAN, IDAHO 83642
(208) 888-4112

DATE _____



TEMPORARY STORM WATER DRAINAGE EASEMENT

This Storm Water drainage Easement ("Easement") is made as of the 5 day of March, 20 20 by and between Tucker M Johnson, Property Owner, and Ada County Highway District, a body corporate and politic of the State of Idaho (hereinafter "ACHD");

WITNESSETH:

For good and sufficient consideration it is agreed:

Section 1. Recitals.

1.1 Grantor owns the parcel of real property located in Ada County, Idaho, more particularly described and depicted on Exhibit "A" attached hereto (the "Servient Estate").

1.2 Grantor is developing a subdivision in Ada County, known as the Greiner Hope Springs Subdivision No 1 and the preliminary plat of the first phase of such subdivision has been approved by ACHD. When the final plat is approved by ACHD and recorded, a public right-of-way for streets and related improvements, including drainage easements will be dedicated to ACHD. When the streets and related improvements are constructed by the Grantor in the right-of-way, and ACHD has accepted the same, they will become a part of the ACHD system of highways.

1.3 The storm water drainage system related to the platted streets to be dedicated to ACHD when the plat referred to in Section 1.2 is recorded will extend beyond the plat and on, over and across the Servient Estate as a temporary storm water drainage system ("Temporary Facility"), to be replaced with a permanent storm water drainage system ("Permanent Facility") with the development of the Servient Estate, and on the terms and conditions hereinafter set forth the Grantor desires to grant to ACHD, and ACHD desires to accept, an easement for storm water drainage on, over, under and across the Servient Estate, and for the repair, maintenance, reconstruction, and enhancement thereof.

Section 2. Grant of Easement

2.1 For the period and on the terms and conditions hereinafter set forth, Grantor hereby grants to ACHD an easement and right-of-way for storm water drainage from the ACHD system of highways on, under, over and across the

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

Servient Estate, and for the repair, maintenance, reconstruction and enhancement of the same (hereafter "Authorized Use")

2.2 The easement herein granted is exclusive to ACHD, and no structures, fences or other improvements are to be constructed, or landscaping planted, on the Servient Estate by Grantor or Grantor's successors or assigns to the underlying title thereto without the prior written consent of ACHD. Such consent will not be given if, in its sole discretion, ACHD determines the proposed improvement and/or landscaping may interfere with ACHD's Authorized Use of the Servient Estate. When such consent is given, if any structures, fences, landscaping or other improvements constructed or planted on the Servient Estate must be removed in order for ACHD to undertake any Authorized Use of the Servient Estate, the costs of removal and replacement or restoration of the same shall be the obligation of Grantor.

Section 3. Construction; Acceptance; Repair and Maintenance; Grantor Indemnification; Contractor Warranties.

3.1 At Grantor's sole cost and expense, Grantor shall construct and install the Temporary Facility on the Servient Estate in accordance with designs, plans and specifications approved by ACHD in advance, in writing. During construction, Grantor shall give ACHD reasonable notice and opportunity to inspect the same.

3.2 When, by written notice given Grantor, ACHD has accepted the Temporary Facility on the Servient Estate as constructed and installed by Grantor, Grantor shall maintain and repair the Temporary Facility thereafter, at its sole cost and expense for the term of this Easement.

3.3 Grantor shall enforce for the benefit of ACHD any warranties for the construction and installation of the Temporary Facility.

3.4 Grantor shall indemnify and save and hold harmless ACHD, its Commissioners and employees, from and against all claims, actions or judgments for damages, injury or death caused by or arising out of the failure or neglect of Grantor to properly construct, install, maintain and repair the Temporary Facility on the Servient Estate.

Section 4. Grantor Indemnification.

Following ACHD's acceptance of the Temporary Facility as constructed by Grantor, Grantor shall indemnify and hold harmless ACHD from and against all claims, actions or judgments for damages, injury or death caused by or arising out of Grantor's failure or neglect to maintain and repair the Temporary Facility on the Servient Estate for the term of this Easement.

Section 5. Term.

The term of this Easement shall commence upon the date of the recording thereof, and continue in full force and effect until: (i) Grantor records a final subdivision plat covering the Servient Estate which includes a dedication of an easement to ACHD serving the same purpose as this Easement, and (ii) ACHD has accepted for maintenance a Permanent Facility on the Servient Estate as constructed and installed by the Grantor. Upon the occurrence of such events; on request of Grantor, ACHD will execute and deliver to Grantor a release of this Easement.

Section 6. Covenants Run with the Land.

Throughout the term of this Easement, it shall be a burden upon the Servient Estate and shall be appurtenant to and for the benefit of the ACHD system of highways, and shall run with the land.

Section 7. Attorneys Fees and Costs.

In any suit, action or appeal therefrom to enforce or interpret this Easement, the prevailing party shall be entitled to recover its costs incurred therein, including reasonable attorneys' fees.

Section 8. Exhibits.

All exhibits attached hereto and the recitals contained herein are incorporated as if set forth in full herein.

Section 9. Modification.

This Easement may not be amended in whole or in part except by written instrument, duly executed and acknowledged by the parties hereto, and recorded.

Section 10. Notices.

All notices given pursuant to this Easement shall be in writing and shall be given by personal delivery, by United States Mail Certified, Return Receipt Requested, or other established express delivery service (such as Federal Express), postage or delivery charge prepaid, addressed to the appropriate party at the address set forth below:

Grantor: Tucker M Johnson
372 S Eagle Road, Ste 328
Eagle, Idaho 83616

ACHD: Ada County Highway District
3775 N Adams Street
Garden City, Idaho 83714

Section 11. Recordation.

This Easement shall be recorded in the Real Property Records of Ada County, Idaho.

IN WITNESS WHEREOF, the undersigned have cause this Easement to be executed the day and year first set forth above.

GRANTOR



By: Tucker M Johnson
Its: Property Owner

STATE OF IDAHO)
) ss.
County of Ada)

This record was acknowledged before me on March 5
2020

by Tucker M. Johnson [date]
[name(s) of individual(s)]

as Property Owner
[type of authority, such as officer or trustee]

of Green Village 2 Development Inc
[name of party on behalf of whom record was executed]

Lisa Fromhart
Signature of notary public



My commission expires: 2/09/22

EXHIBIT LIST

Exhibit "A". Legal description of Servient Estate.

The Ada County Highway District (ACHD) is committed to compliance with Title VI of the Civil Rights Act of 1964 and related regulations and directives. ACHD assures that no person shall on the grounds of race, color, national origin, gender, disability or age, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any ACHD service, program or activity.

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

EXHIBIT A

STORM DRAIN EASMENT NO. 1

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SW 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lots 2 and 4 of Block 1 of *RUSTY SPUR RANCHETTES* as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 53°04'47" W a distance of 1808.25 feet to the POINT OF BEGINNING;

Thence N 88°42'57" W a distance of 212.05 feet to a point;

Thence N 1°17'03" E a distance of 31.00 feet to a point;

Thence S 88°42'57" E a distance of 110.00 feet to a point;

Thence N 1°17'03" E a distance of 75.00 feet to a point;

Thence S 88°42'57" E a distance of 97.38 feet to a point;

Thence S 1°17'03" W a distance of 25.00 feet to a point;

Thence S 4°02'54" E a distance of 50.22 feet to a point;

Thence S 1°17'03" W a distance of 31.00 feet to the POINT OF BEGINNING.

This parcel contains 13,994 square feet (0.321 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

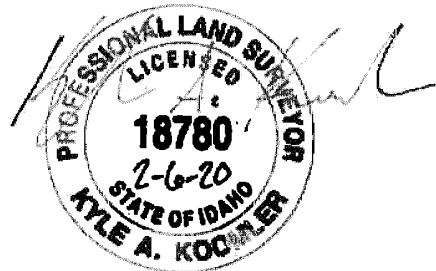
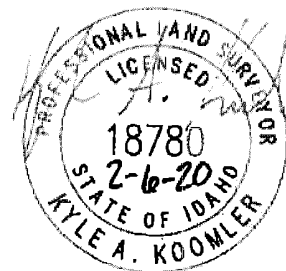
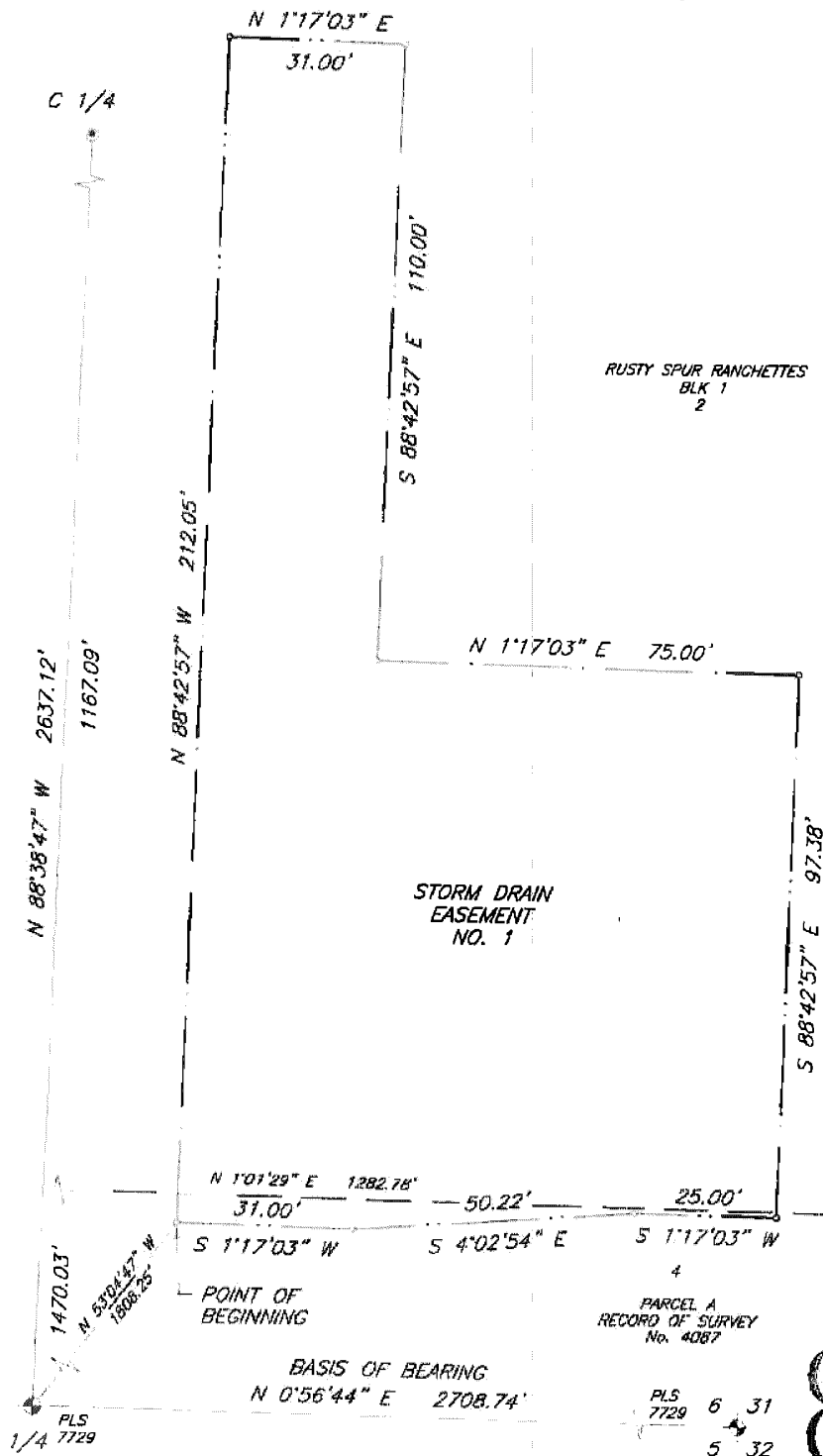


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO



SCALE: 1"=30'



CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312

EXHIBIT A

STORM DRAIN EASMENT NO. 2

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SW 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lots 2 and 4 of Block 1 of *RUSTY SPUR RANCHETTES* as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 60°35'17" W a distance of 1651.42 feet to the POINT OF BEGINNING;

Thence N 88°42'57" W a distance of 184.57 feet to a point;

Thence N 1°17'03" E a distance of 26.00 feet to a point;

Thence S 88°42'57" E a distance of 79.99 feet to a point;

Thence N 1°17'03" E a distance of 75.00 feet to a point;

Thence S 88°42'57" E a distance of 91.35 feet to a point;

Thence S 1°17'03" W a distance of 25.00 feet to a point;

Thence S 13°32'49" E a distance of 51.72 feet to a point;

Thence S 1°17'03" W a distance of 26.00 feet to the POINT OF BEGINNING.

This parcel contains 11,981 square feet (0.275 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

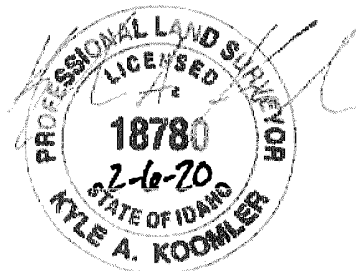


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO

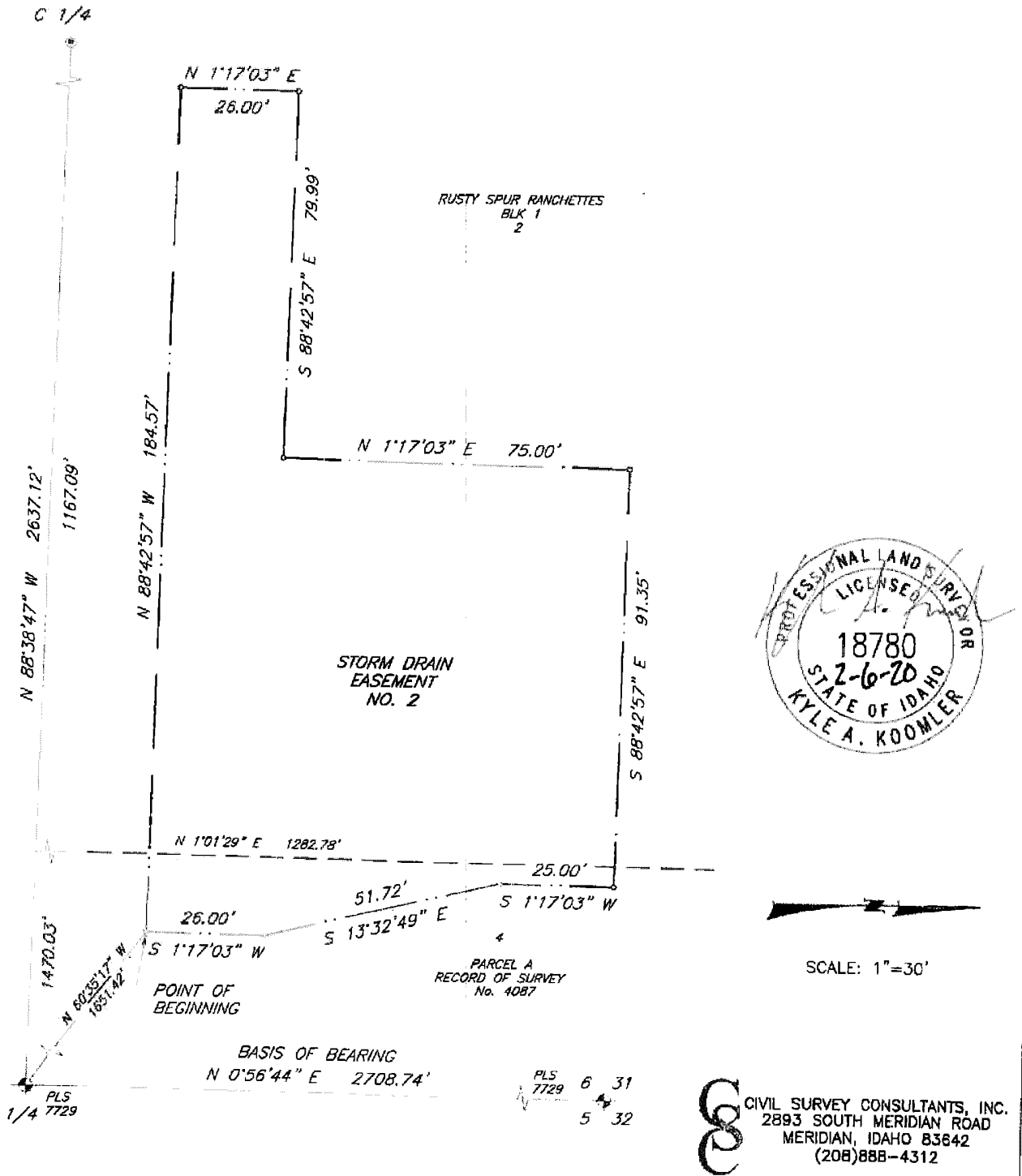


EXHIBIT A
STORM DRAIN EASEMENT NO. 3

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SW 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lots 2 and 4 of Block 1 of *RUSTY SPUR RANCHETTES* as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 67°05'32" W a distance of 1572.39 feet to the POINT OF BEGINNING;

Thence N 66°00'55" W a distance of 183.62 feet to a point;

Thence N 18°04'07" E a distance of 44.12 feet to a point;

Thence S 88°42'57" E a distance of 212.00 feet to a point;

Thence S 43°54'18" E a distance of 31.53 feet to a point;

Thence S 46°05'42" W a distance of 22.91 feet to a point;

Thence a distance of 96.89 feet along the arc of a 525.00 foot radius curve left, said curve having a central angle of 10°34'26" and a long chord bearing S 40°48'29" W a distance of 96.75 feet to the POINT OF BEGINNING.

This parcel contains 17,652 square feet (0.405 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

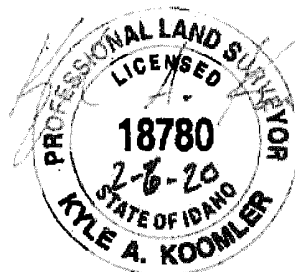
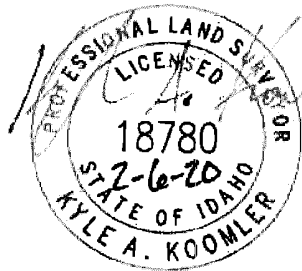
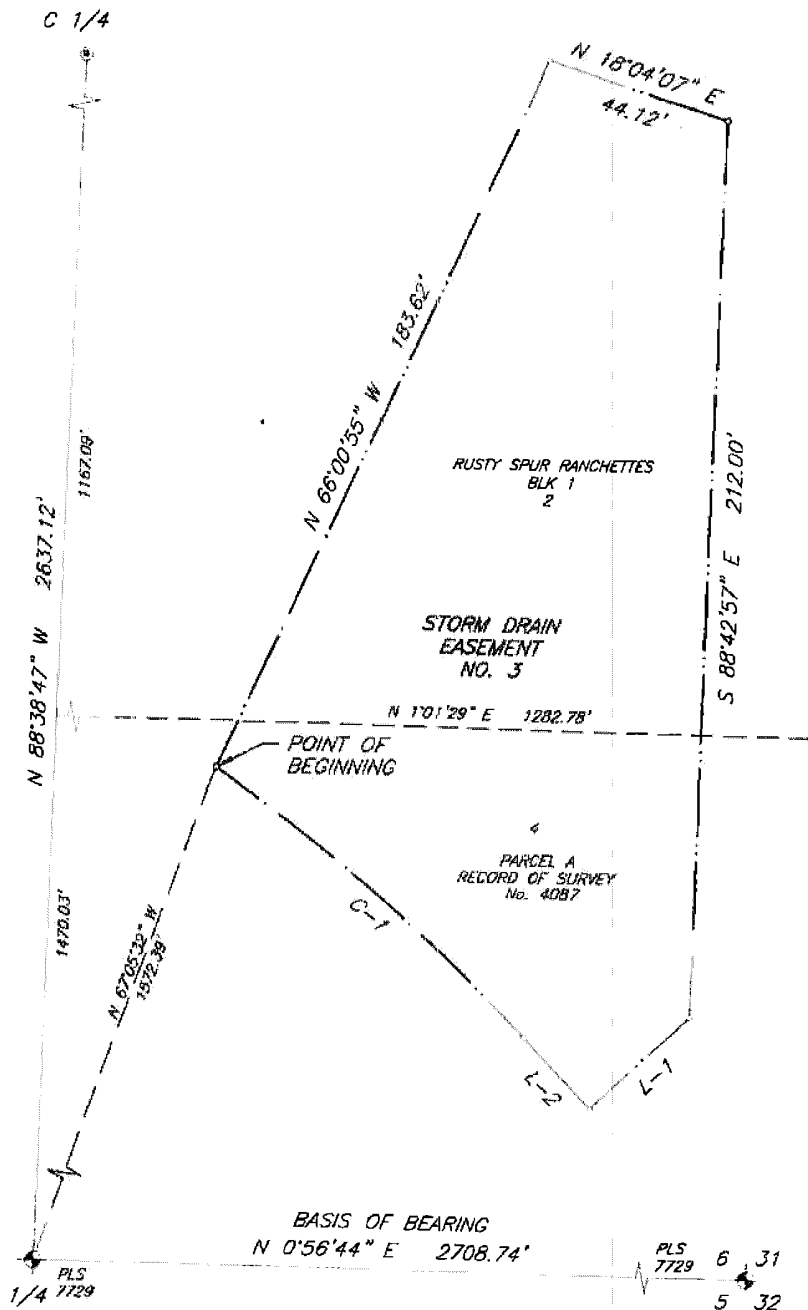


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO



SCALE: 1"=40'

CIVIL SURVEY CONSULTANTS, INC.
 2893 SOUTH MERIDIAN ROAD
 MERIDIAN, IDAHO 83642
 (208)888-4312

LINE DATA		
LINE	BEARING	DISTANCE
L-1	S 43°54'18" E	31.53'
L-2	S 46°05'42" W	22.91'

CURVE DATA					
CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD
C-1	10°34'26"	525.00	96.89	48.58	98.75
					S 40°48'29" W

EXHIBIT A

STORM DRAIN EASMENT NO. 4

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SW 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lot 2 of Block 1 of *RUSTY SPUR RANCHETTES* as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 73°51'14" W a distance of 1624.45 feet to the POINT OF BEGINNING;

Thence N 66°00'55" W a distance of 107.00 feet to a point;

Thence N 23°59'05" E a distance of 27.00 feet to a point;

Thence S 66°00'55" E a distance of 82.00 feet to a point;

Thence N 50°32'59" E a distance of 55.90 feet to a point;

Thence S 23°59'05" W a distance of 77.00 feet to the POINT OF BEGINNING.

This parcel contains 3,514 square feet (0.081 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

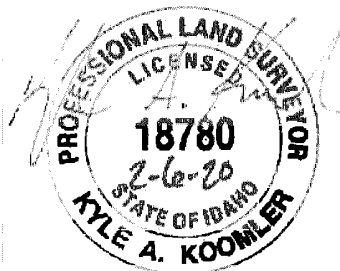
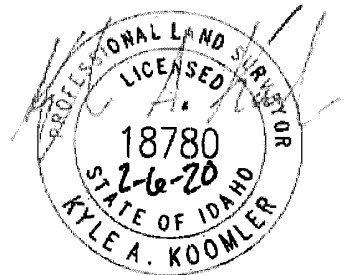
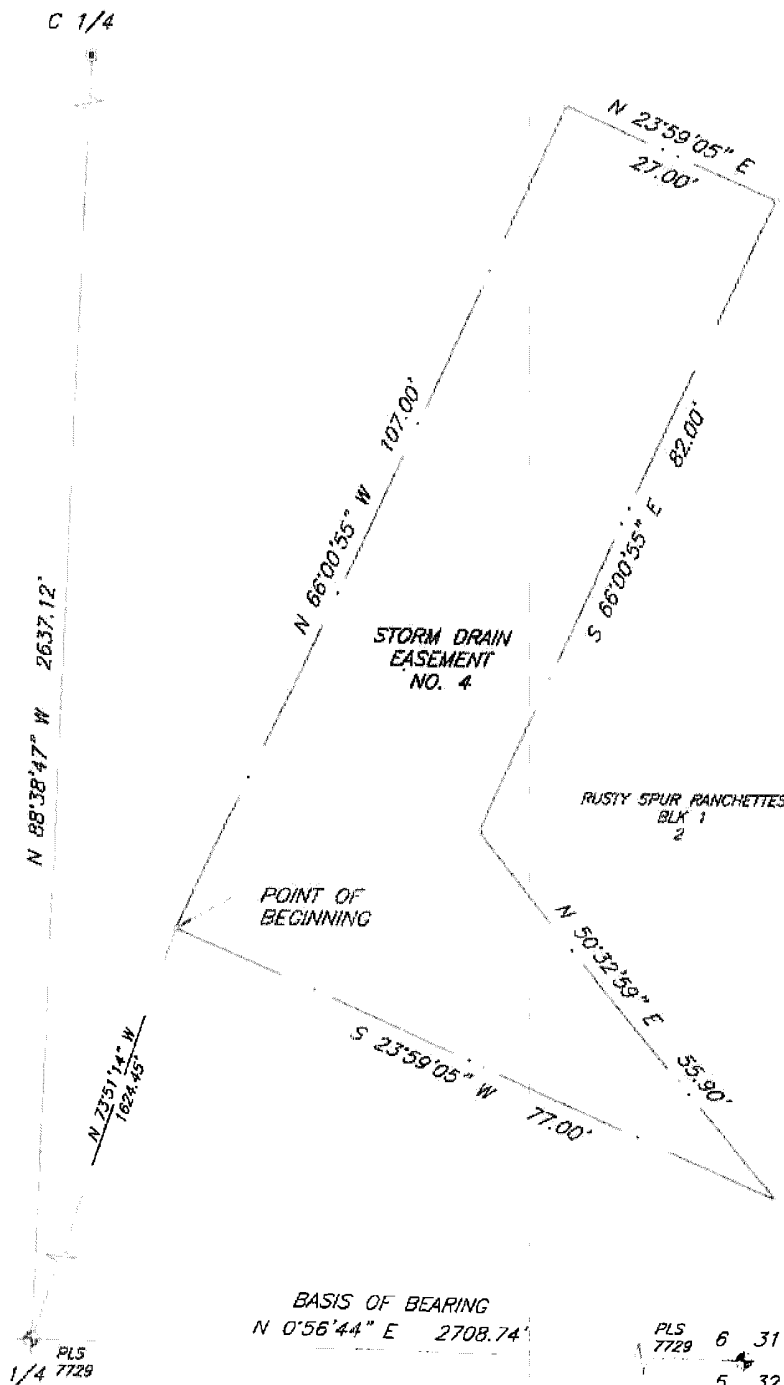


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO



SCALE: 1"=20'



CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83542
(208)888-4312

TEMPORARY STORM WATER DRAINAGE EASEMENT

This Storm Water drainage Easement ("Easement") is made as of the 5 day of March, 2020 by and between Tucker M Johnson, Property Owner, and Ada County Highway District, a body corporate and politic of the State of Idaho (hereinafter "ACHD");

WITNESSETH:

For good and sufficient consideration it is agreed:

Section 1. Recitals.

1.1 Grantor owns the parcel of real property located in Ada County, Idaho, more particularly described and depicted on Exhibit "A" attached hereto (the "Servient Estate").

1.2 Grantor is developing a subdivision in Ada County, known as the Greiner Hope Springs Subdivision No 1 and the preliminary plat of the first phase of such subdivision has been approved by ACHD. When the final plat is approved by ACHD and recorded, a public right-of-way for streets and related improvements, including drainage easements will be dedicated to ACHD. When the streets and related improvements are constructed by the Grantor in the right-of-way, and ACHD has accepted the same, they will become a part of the ACHD system of highways.

1.3 The storm water drainage system related to the platted streets to be dedicated to ACHD when the plat referred to in Section 1.2 is recorded will extend beyond the plat and on, over and across the Servient Estate as a temporary storm water drainage system ("Temporary Facility"), to be replaced with a permanent storm water drainage system ("Permanent Facility") with the development of the Servient Estate, and on the terms and conditions hereinafter set forth the Grantor desires to grant to ACHD, and ACHD desires to accept, an easement for storm water drainage on, over, under and across the Servient Estate, and for the repair, maintenance, reconstruction, and enhancement thereof.

Section 2. Grant of Easement

2.1 For the period and on the terms and conditions hereinafter set forth, Grantor hereby grants to ACHD an easement and right-of-way for storm water drainage from the ACHD system of highways on, under, over and across the

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

Servient Estate, and for the repair, maintenance, reconstruction and enhancement of the same (hereafter "Authorized Use")

2.2 The easement herein granted is exclusive to ACHD, and no structures, fences or other improvements are to be constructed, or landscaping planted, on the Servient Estate by Grantor or Grantor's successors or assigns to the underlying title thereto without the prior written consent of ACHD. Such consent will not be given if, in its sole discretion, ACHD determines the proposed improvement and/or landscaping may interfere with ACHD's Authorized Use of the Servient Estate. When such consent is given, if any structures, fences, landscaping or other improvements constructed or planted on the Servient Estate must be removed in order for ACHD to undertake any Authorized Use of the Servient Estate, the costs of removal and replacement or restoration of the same shall be the obligation of Grantor.

Section 3. Construction; Acceptance; Repair and Maintenance; Grantor Indemnification; Contractor Warranties.

3.1 At Grantor's sole cost and expense, Grantor shall construct and install the Temporary Facility on the Servient Estate in accordance with designs, plans and specifications approved by ACHD in advance, in writing. During construction, Grantor shall give ACHD reasonable notice and opportunity to inspect the same.

3.2 When, by written notice given Grantor, ACHD has accepted the Temporary Facility on the Servient Estate as constructed and installed by Grantor; Grantor shall maintain and repair the Temporary Facility thereafter, at its sole cost and expense for the term of this Easement.

3.3 Grantor shall enforce for the benefit of ACHD any warranties for the construction and installation of the Temporary Facility.

3.4 Grantor shall indemnify and save and hold harmless ACHD, its Commissioners and employees, from and against all claims, actions or judgments for damages, injury or death caused by or arising out of the failure or neglect of Grantor to properly construct, install, maintain and repair the Temporary Facility on the Servient Estate.

Section 4. Grantor Indemnification.

Following ACHD's acceptance of the Temporary Facility as constructed by Grantor, Grantor shall indemnify and hold harmless ACHD from and against all claims, actions or judgments for damages, injury or death caused by or arising out of Grantor's failure or neglect to maintain and repair the Temporary Facility on the Servient Estate for the term of this Easement.

Section 5. Term.

The term of this Easement shall commence upon the date of the recording thereof, and continue in full force and effect until: (i) Grantor records a final subdivision plat covering the Servient Estate which includes a dedication of an easement to ACHD serving the same purpose as this Easement, and (ii) ACHD has accepted for maintenance a Permanent Facility on the Servient Estate as constructed and installed by the Grantor. Upon the occurrence of such events; on request of Grantor, ACHD will execute and deliver to Grantor a release of this Easement.

Section 6. Covenants Run with the Land.

Throughout the term of this Easement, it shall be a burden upon the Servient Estate and shall be appurtenant to and for the benefit of the ACHD system of highways, and shall run with the land.

Section 7. Attorneys Fees and Costs.

In any suit, action or appeal therefrom to enforce or interpret this Easement, the prevailing party shall be entitled to recover its costs incurred therein, including reasonable attorneys' fees.

Section 8. Exhibits.

All exhibits attached hereto and the recitals contained herein are incorporated as if set forth in full herein.

Section 9. Modification.

This Easement may not be amended in whole or in part except by written instrument, duly executed and acknowledged by the parties hereto, and recorded.

Section 10. Notices.

All notices given pursuant to this Easement shall be in writing and shall be given by personal delivery, by United States Mail Certified, Return Receipt Requested, or other established express delivery service (such as Federal Express), postage or delivery charge prepaid, addressed to the appropriate party at the address set forth below:

Grantor: Tucker M Johnson
372 S Eagle Road, Ste 328
Eagle, Idaho 83616

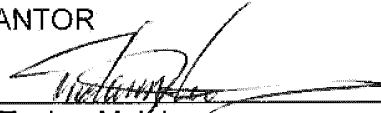
ACHD: Ada County Highway District
3775 N Adams Street
Garden City, Idaho 83714

Section 11. Recordation.

This Easement shall be recorded in the Real Property Records of Ada County, Idaho.

IN WITNESS WHEREOF, the undersigned have cause this Easement to be executed the day and year first set forth above.

GRANTOR

A handwritten signature in black ink, appearing to read 'Tucker M. Johnson', is written over a horizontal line.

By: Tucker M. Johnson
Its: Property Owner

STATE OF IDAHO)
) ss.
County of Ada)

This record was acknowledged before me on March 5,
2020

[date]

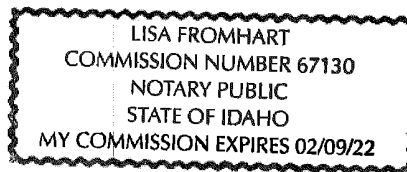
by Tucker M. Johnson
[name(s) of individual(s)]

as Property Owner
[type of authority, such as officer or trustee]

of Green Village 2 Development Inc.
[name of party on behalf of whom record was executed]

Lisa Fromhart

Signature of notary public



My commission expires: 2/09/22

EXHIBIT LIST

Exhibit "A". Legal description of Servient Estate.

The Ada County Highway District (ACHD) is committed to compliance with Title VI of the Civil Rights Act of 1964 and related regulations and directives. ACHD assures that no person shall on the grounds of race, color, national origin, gender, disability or age, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any ACHD service, program or activity.

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

EXHIBIT A

STORM DRAIN EASMENT NO. 5

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SE 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lots 5 and 6 of Block 1 of *RUSTY SPUR RANCHETTES SUBDIVISION NO. 2* as shown in Book 64 of Plats at Page 6556 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 52°58'41" W a distance of 1249.82 feet to the POINT OF BEGINNING;

Thence N 36°11'37" W a distance of 35.24 feet to a point;

Thence N 53°48'23" E a distance of 182.01 feet to a point;

Thence S 36°11'37" E a distance of 12.25 feet to a point;

Thence N 56°58'05" E a distance of 48.43 feet to a point;

Thence S 33°01'55" E a distance of 20.35 feet to a point;

Thence S 53°48'23" W a distance of 229.25 feet to the POINT OF BEGINNING.

This parcel contains 7,450 square feet (0.171 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

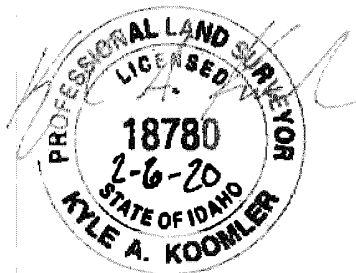
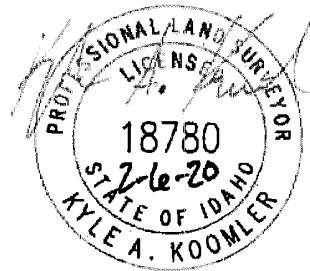
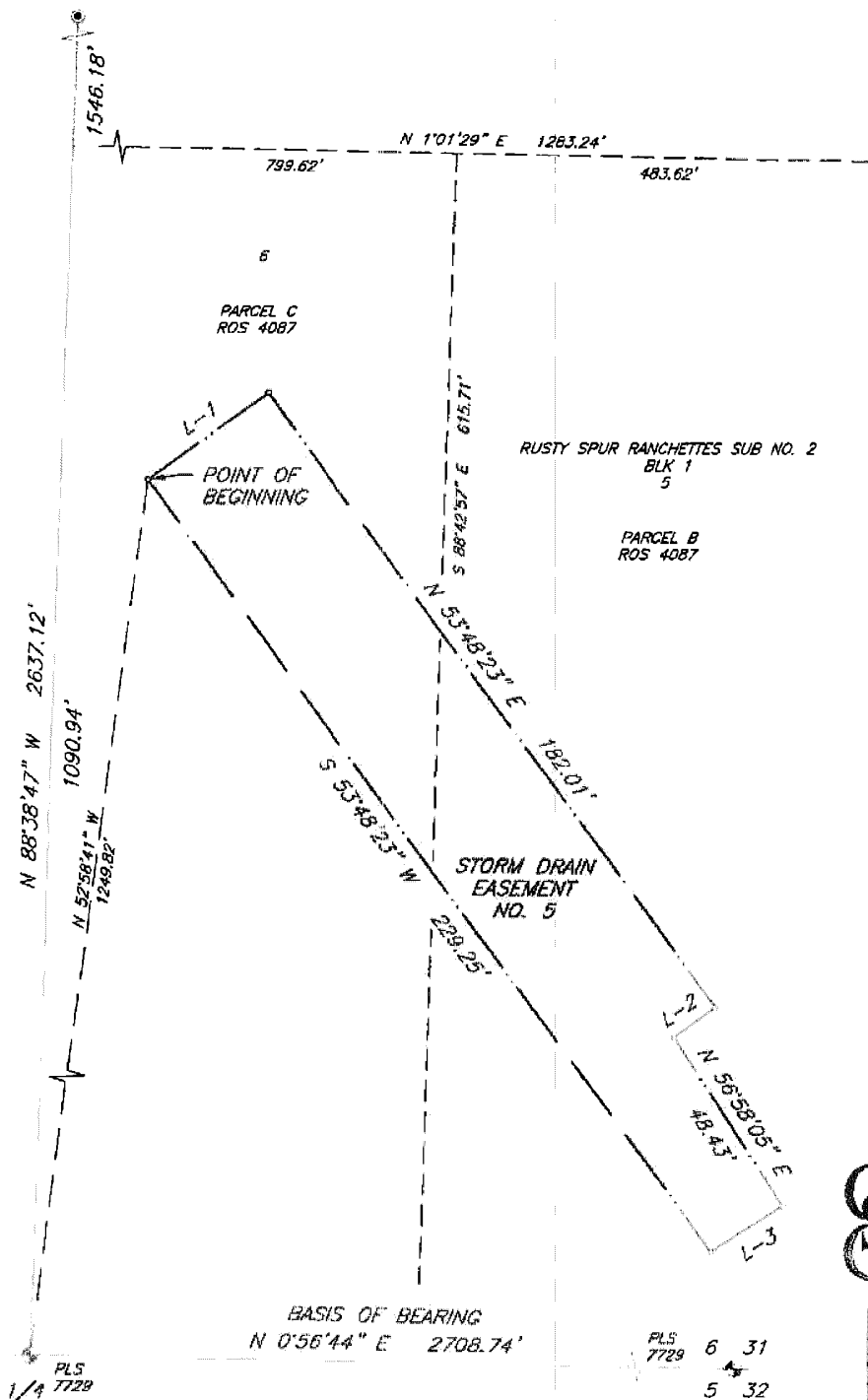


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO

C 1/4



SCALE: 1"=40'



CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)868-4312

LINE DATA

LINE	BEARING	DISTANCE
L-1	N 36°11'37" W	35.24'
L-2	S 36°11'37" E	12.25'
L-3	S 33°01'55" E	20.35'

TEMPORARY STORM WATER DRAINAGE EASEMENT

This Storm Water drainage Easement ("Easement") is made as of the 5 day of March, 2020 by and between Tucker M Johnson, Property Owner, and Ada County Highway District, a body corporate and politic of the State of Idaho (hereinafter "ACHD");

WITNESSETH:

For good and sufficient consideration it is agreed:

Section 1. Recitals.

1.1 Grantor owns the parcel of real property located in Ada County, Idaho, more particularly described and depicted on Exhibit "A" attached hereto (the "Servient Estate").

1.2 Grantor is developing a subdivision in Ada County, known as the Greiner Hope Springs Subdivision No 1 and the preliminary plat of the first phase of such subdivision has been approved by ACHD. When the final plat is approved by ACHD and recorded, a public right-of-way for streets and related improvements, including drainage easements will be dedicated to ACHD. When the streets and related improvements are constructed by the Grantor in the right-of-way, and ACHD has accepted the same, they will become a part of the ACHD system of highways.

1.3 The storm water drainage system related to the platted streets to be dedicated to ACHD when the plat referred to in Section 1.2 is recorded will extend beyond the plat and on, over and across the Servient Estate as a temporary storm water drainage system ("Temporary Facility"), to be replaced with a permanent storm water drainage system ("Permanent Facility") with the development of the Servient Estate, and on the terms and conditions hereinafter set forth the Grantor desires to grant to ACHD, and ACHD desires to accept, an easement for storm water drainage on, over, under and across the Servient Estate, and for the repair, maintenance, reconstruction, and enhancement thereof.

Section 2. Grant of Easement

2.1 For the period and on the terms and conditions hereinafter set forth, Grantor hereby grants to ACHD an easement and right-of-way for storm water drainage from the ACHD system of highways on, under, over and across the

Servient Estate, and for the repair, maintenance, reconstruction and enhancement of the same (hereafter "Authorized Use")

2.2 The easement herein granted is exclusive to ACHD, and no structures, fences or other improvements are to be constructed, or landscaping planted, on the Servient Estate by Grantor or Grantor's successors or assigns to the underlying title thereto without the prior written consent of ACHD. Such consent will not be given if, in its sole discretion, ACHD determines the proposed improvement and/or landscaping may interfere with ACHD's Authorized Use of the Servient Estate. When such consent is given, if any structures, fences, landscaping or other improvements constructed or planted on the Servient Estate must be removed in order for ACHD to undertake any Authorized Use of the Servient Estate, the costs of removal and replacement or restoration of the same shall be the obligation of Grantor.

Section 3. Construction; Acceptance; Repair and Maintenance; Grantor Indemnification; Contractor Warranties.

3.1 At Grantor's sole cost and expense, Grantor shall construct and install the Temporary Facility on the Servient Estate in accordance with designs, plans and specifications approved by ACHD in advance, in writing. During construction, Grantor shall give ACHD reasonable notice and opportunity to inspect the same.

3.2 When, by written notice given Grantor, ACHD has accepted the Temporary Facility on the Servient Estate as constructed and installed by Grantor, Grantor shall maintain and repair the Temporary Facility thereafter, at its sole cost and expense for the term of this Easement.

3.3 Grantor shall enforce for the benefit of ACHD any warranties for the construction and installation of the Temporary Facility.

3.4 Grantor shall indemnify and save and hold harmless ACHD, its Commissioners and employees, from and against all claims, actions or judgments for damages, injury or death caused by or arising out of the failure or neglect of Grantor to properly construct, install, maintain and repair the Temporary Facility on the Servient Estate.

Section 4. Grantor Indemnification.

Following ACHD's acceptance of the Temporary Facility as constructed by Grantor, Grantor shall indemnify and hold harmless ACHD from and against all claims, actions or judgments for damages, injury or death caused by or arising out of Grantor's failure or neglect to maintain and repair the Temporary Facility on the Servient Estate for the term of this Easement.

Section 5. Term.

The term of this Easement shall commence upon the date of the recording thereof, and continue in full force and effect until: (i) Grantor records a final subdivision plat covering the Servient Estate which includes a dedication of an easement to ACHD serving the same purpose as this Easement, and (ii) ACHD has accepted for maintenance a Permanent Facility on the Servient Estate as constructed and installed by the Grantor. Upon the occurrence of such events; on request of Grantor, ACHD will execute and deliver to Grantor a release of this Easement.

Section 6. Covenants Run with the Land.

Throughout the term of this Easement, it shall be a burden upon the Servient Estate and shall be appurtenant to and for the benefit of the ACHD system of highways, and shall run with the land.

Section 7. Attorneys Fees and Costs.

In any suit, action or appeal therefrom to enforce or interpret this Easement, the prevailing party shall be entitled to recover its costs incurred therein, including reasonable attorneys' fees.

Section 8. Exhibits.

All exhibits attached hereto and the recitals contained herein are incorporated as if set forth in full herein.

Section 9. Modification.

This Easement may not be amended in whole or in part except by written instrument, duly executed and acknowledged by the parties hereto, and recorded.

Section 10. Notices.

All notices given pursuant to this Easement shall be in writing and shall be given by personal delivery, by United States Mail Certified, Return Receipt Requested, or other established express delivery service (such as Federal Express), postage or delivery charge prepaid, addressed to the appropriate party at the address set forth below:

Grantor: Tucker M Johnson
372 S Eagle Road, Ste 328
Eagle, Idaho 83616

ACHD: Ada County Highway District
3775 N Adams Street
Garden City, Idaho 83714

Section 11. Recordation.

This Easement shall be recorded in the Real Property Records of Ada County, Idaho.

IN WITNESS WHEREOF, the undersigned have cause this Easement to be executed the day and year first set forth above.

GRANTOR



By: Tucker M Johnson
Its: Property Owner

STATE OF IDAHO)
) ss.
County of Ada)

This record was acknowledged before me on March 5,
2020

by Tucker M Johnson [date]
[name(s) of individual(s)]

as Property Owner
[type of authority, such as officer or trustee]

of Green Village 2 Development Inc.
[name of party on behalf of whom record was executed]

Lisa Fromhart
Signature of notary public



My commission expires: 2/09/22

EXHIBIT LIST

Exhibit "A". Legal description of Servient Estate.

The Ada County Highway District (ACHD) is committed to compliance with Title VI of the Civil Rights Act of 1964 and related regulations and directives. ACHD assures that no person shall on the grounds of race, color, national origin, gender, disability or age, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any ACHD service, program or activity.

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

EXHIBIT A

STORM DRAIN EASMENT NO. 6

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SE 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of *PARCEL B* as shown on Record of Survey No. 4087 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 24°18'58" W a distance of 1156.32 feet to the POINT OF BEGINNING;

Thence S 82°17'14" W a distance of 148.11 feet to a point;

Thence N 18°42'29" W a distance of 46.19 feet to a point;

Thence N 1°15'15" E a distance of 59.81 feet to a point on the southerly boundary of said *PARCEL B*;

Thence S 88°44'45" E along said southerly boundary a distance of 91.65 feet to a 1/2 inch diameter iron pin marking the southeasterly corner of said *PARCEL B*;

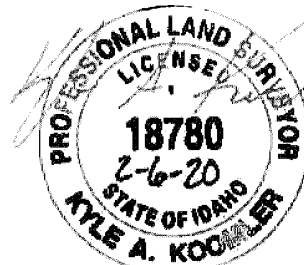
Thence leaving said *PARCEL B* boundary S 2°46'44" E a distance of 54.64 feet to a point;

Thence N 89°44'17" E a distance of 65.92 feet to a point;

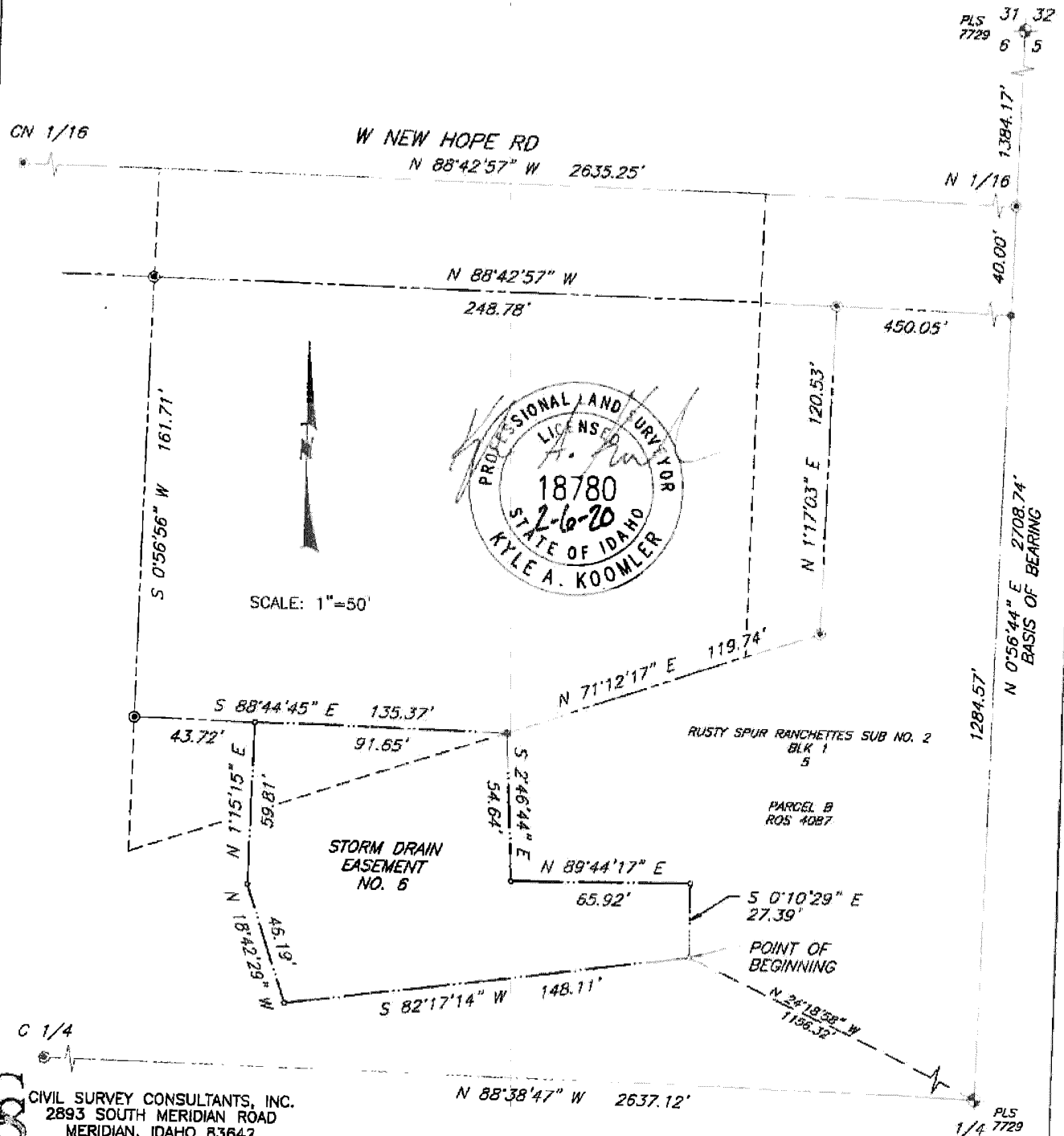
Thence S 0°10'29" E a distance of 27.39 feet to the POINT OF BEGINNING.

This parcel contains 11,015 square feet (0.253 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020



SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO



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CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312

**STORM WATER OPERATIONS AND MAINTENANCE MANUAL
FOR
GREINERS HOPE SPRINGS SUBDIVISION**