

GREINERS HOPE SPRINGS SUBDIVISION No. 2

LOCATED IN THE S 1/2 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO AND BEING A REPLAT OF A PART OF LOTS 2 AND 4 OF RUSTY SPUR RANCHETTES

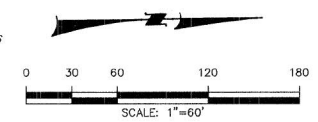


This document
provided courtesy
of TitleOne

A DEVELOPMENT BY GREEN VILLAGE 2 DEVELOPMENT, INC.

2020

C 1/4 N. MUNGER ROAD
PLS 12459
CP&F No. 2017-079631
CN 1/16
PLS 3627
CP&F No. 8803583

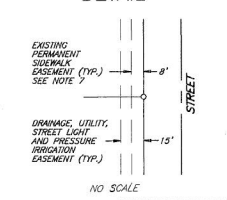


LEGEND

- SUBDIVISION BOUNDARY
- SET 5/8" IRON PIN WITH PLS 18780 PLASTIC CAP
- FOUND 5/8" IRON PIN WITH PLS 18780 PLASTIC CAP OR AS LABELED
- FOUND ALUMINUM CAP MONUMENT
- FOUND 1/2" IRON PIN WITH PLS 18780 PLASTIC CAP OR AS LABELED
- SET 1/2" IRON PIN WITH PLS 18780 PLASTIC CAP
- CALCULATED POINT - NOTHING SET
- EXISTING LOT LINE
- EASEMENT LINE
- STREET CENTERLINE
- LOT LINE
- SECTION LINE
- TIE LINE

SEE SHEET 2 FOR NOTES

STREET EASEMENT DETAIL



REFERENCES

REFERENCE RECORD OF SURVEY NUMBERS:
1229, 1249, 2473, 4087, 11785, 11809
REFERENCE PLATS OF:
RUSTY SPUR RANCHETTES
RUSTY SPUR RANCHETTES NO. 2
SAILING HAWKS SUBDIVISION
GREINERS HOPE SPRINGS NO. 1

SURVEYOR NARRATIVE

THE PLAT OF GREINERS HOPE SPRINGS SUBDIVISION NO. 2 IS A CONTINUATION OF THE MASTER PLAN FOR THE GREINERS HOPE SPRINGS SUBDIVISION. THIS SUBDIVISION IS A RE-PLAT OF A PART OF LOTS 2 AND 4 OF BLOCK 1 OF RUSTY SPUR RANCHETTES AS SHOWN IN BOOK 64 OF PLATS AT PAGE 6463 IN THE OFFICE OF THE RECORDER, ADA COUNTY, IDAHO.

GREINERS HOPE SPRINGS SUBDIVISION NO. 2 IS BOUNDED TO THE EAST BY GREINERS HOPE SPRINGS SUBDIVISION NO. 1, BOUNDED ON THE SOUTH BY SAILING HAWKS SUBDIVISION AS SHOWN IN BOOK 117 OF PLATS AT PAGE 17742, BOUNDED ON THE WEST BY LOT 1 OF BLOCK 1 OF RUSTY SPUR RANCHETTES AS SHOWN IN BOOK 64 OF PLATS AT PAGE 6463, AND BOUNDED ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY OF W. NEW HOPE ROAD AS DEMONSTRATED BY SAID RUSTY SPUR RANCHETTES.

THE FOUND 1/2 INCH DIAMETER IRON PINS FOUND AT THE SOUTHWEST AND NORTHWEST CORNERS OF GREINERS HOPE SPRINGS SUBDIVISION NO. 2 WERE REMOVED AND REPLACED AT THE FOUND LOCATION WITH A 5/8 INCH DIAMETER IRON PIN WITH PLASTIC CAP PLS 18780 TO CONFORM WITH SECTION 50-1303, IDAHO CODE.

THE MONUMENTS ALONG THE BOUNDARY OF GREINERS HOPE SPRINGS SUBDIVISION NO. 1 WERE FOUND IN PLACE AND UNDISTURBED UNLESS OTHERWISE SHOWN. THE REMAINING PROPERTY LINES WERE DEVELOPED AS PER THE OWNER AS SHOWN HEREON.

TAX. RTW
15N, 15W
CP&F No. 2017-051887
BASIS OF BEARING
N 0°56'44" E
2708.74'
N 1/16
PLS 3627
CP&F No. 94004062
1384.17'
6 31
PLS 7729
CP&F No. 2017-051886



CIVIL SURVEY CONSULTANTS, INC.

2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 888-4312

CURVE DATA

CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD	CHORD BRNG.
C-1	21°47'22"	525.00	199.65	101.05	198.45	N 35°12'01" E
C-2	11°12'56"	525.00	102.77	51.55	102.60	N 29°54'48" E
C-3	10°34'26"	525.00	96.89	48.58	96.75	N 40°48'29" E
C-4	0°59'19"	165.00	1.42	2.85	2.85	S 131°28'28" W
C-5	6°45'44"	525.00	61.99	31.02	61.93	S 70°08'45" E
C-6	0°44'58"	525.00	6.87	3.43	6.87	S 66°23'24" E
C-7	1°15'16"	475.00	10.40	5.20	10.40	S 66°38'33" E
C-8	5°54'33"	475.00	48.99	24.52	48.97	S 70°13'28" E
C-9	12°47'40"	165.00	36.85	18.50	36.77	N 33°05'49" E
C-10	11°14'06"	500.00	98.04	49.18	97.89	S 71°37'58" E
C-11	13°15'10"	140.00	32.38	16.26	32.31	N 7°39'23" E
C-12	25°12'41"	140.00	61.80	31.31	61.11	N 26°53'19" E
C-13	38°27'51"	115.00	72.20	40.12	75.76	N 20°15'43" E
C-14	15°30'36"	125.00	33.84	17.02	33.73	N 31°44'21" E
C-15	15°30'37"	100.00	27.07	13.62	26.99	N 31°44'21" E
C-16	15°30'38"	75.00	20.30	10.21	20.24	N 31°44'20" E

LINE DATA

LINE	BEARING	DISTANCE
L-1	S 66°00'55" E	13.54'
L-2	S 43°50'54" E	18.35'
L-3	N 46°05'42" E	22.91'
L-4	N 43°54'18" W	31.53'
L-5	N 88°42'57" W	50.00'
L-6	S 43°50'34" E	18.34'
L-7	N 46°09'26" E	18.44'
L-8	S 43°50'54" E	18.36'
L-9	N 46°09'13" E	18.45'
L-10	S 35°41'14" E	15.94'
L-11	N 39°28'39" E	44.26'
L-12	N 66°45'37" E	16.73'
L-13	S 1°01'48" W	40.00'

BK 119 Pg 18518

GREINERS HOPE SPRINGS SUBDIVISION No. 2

NOTES

1. THE DEVELOPMENT OF THIS PROPERTY SHALL BE IN COMPLIANCE WITH THE ZONING ORDINANCE OR AS SPECIFICALLY APPROVED BY FILE NO. AZ-19-05/DA-19-06/PP-19-03.
2. ALL LOTS HAVE A 15 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE, PRESSURE IRRIGATION AND STREET LIGHT PURPOSES CONTIGUOUS TO ALL PUBLIC STREETS. ALL SIDE LOT LINES HAVE A 5 FOOT WIDE EASEMENT ON EACH SIDE FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURE IRRIGATION PURPOSES. ALL REAR LOT LINES HAVE A 10 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION, INC.. ALL OTHER EASEMENTS ARE AS SHOWN.
3. MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF STAR APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR AS SPECIFICALLY APPROVED AND/OR REQUIRED, OR AS SHOWN ON THIS PLAT.
4. BUILDING AND OCCUPANCY SHALL CONFORM TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS (CC&R's) RECORDED AS INSTRUMENT NO. 2020-107706, OFFICIAL RECORDS OF ADA COUNTY, AS WELL AS ANY FUTURE AMENDMENTS.
5. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
6. THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
7. LOTS ABUTTING PUBLIC RIGHT-OF-WAY ARE SUBJECT TO AN EXISTING PERMANENT EASEMENT CONTIGUOUS TO ALL STREETS AS DESCRIBED IN INST. NO. 2020-120204.
8. LOT 21 OF BLOCK 1, LOT 9 OF BLOCK 6 AND LOT 8 OF BLOCK 8 ARE COMMON LOTS WHICH SHALL BE OWNED AND MAINTAINED BY THE HOPE SPRINGS OWNERS ASSOCIATION, INC.. SAID LOTS ARE SUBJECT TO A BLANKET EASEMENT FOR PUBLIC UTILITIES, DRAINAGE AND PRESSURIZED IRRIGATION PURPOSES. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION, INC..
9. GREINERS HOPE SPRINGS SUBDIVISION NO. 2 IS SUBJECT TO A LICENSE AGREEMENT WITH ACHD FOR LANDSCAPING AS DESCRIBED IN INSTRUMENT NO. 2020-120205.
10. DIRECT LOT ACCESS TO W. NEW HOPE ROAD IS PROHIBITED.
11. LOT 9 OF BLOCK 6 AND LOT 8 OF BLOCK 8 ARE SERVIENT TO AND CONTAIN THE ACHD STORM WATER DRAINAGE SYSTEM. THESE LOTS ARE ENCUMBERED BY THE FIRST AMENDED MASTER PERPETUAL STORM WATER DRAINAGE EASEMENT RECORDED ON NOVEMBER 10, 2015 AS INSTRUMENT NO. 2015-103256, OFFICIAL RECORDS OF ADA COUNTY AND INCORPORATED HEREIN BY THIS REFERENCE AS IF SET FORTH IN FULL (THE "MASTER EASEMENT"). THE MASTER EASEMENT AND THE STORM WATER DRAINAGE SYSTEM IS DEDICATED TO ACHD PURSUANT TO SECTION 40-2302 IDAHO CODE. THE MASTER EASEMENT IS FOR THE OPERATION AND MAINTENANCE OF THE STORM WATER DRAINAGE SYSTEM. SAID LOTS ARE COMMON LOTS AND WILL BE OWNED AND MAINTAINED BY THE HOPE SPRINGS OWNERS ASSOCIATION, INC..
12. EASEMENTS AS PLATTED BY RUSTY SPUR RANCHETTES THAT AFFECT THIS SUBDIVISION HAVE BEEN VACATED BY BOTH THE CITY OF STAR AND BY THE RELEVANT UTILITY COMPANIES FOR WHICH THE EASEMENTS BENEFITTED. SEE STAR VACATION FILE NO. VAC-20-01.



CIVIL SURVEY CONSULTANTS, INC.

2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 888-4312

GREINERS HOPE SPRINGS SUBDIVISION No. 2

CERTIFICATE OF OWNERS

KNOW ALL MEN BY THESE PRESENTS: That we, the undersigned, are the Owners of the real property described below in City of Star, Ada County, Idaho, and that we intend to include the following described property in this GREINERS HOPE SPRINGS SUBDIVISION NO. 2:

A parcel located in the S 1/2 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, City of Star, and being a re-plot of a part of Lots 2 and 4 of Block 1 of RUSTY SPUR RANCHETTES as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said S 1/2 of the NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said Section 6 bears N 0°56'44"E a distance of 2708.74 feet;

Thence N 0°56'44"E along the easterly boundary of said S 1/2 of the NE 1/4 a distance of 1324.57 feet to a 5/8 inch diameter iron pin marking the northeasterly corner of said S 1/2 of the NE 1/4;

Thence N 88°42'57"W along the northerly boundary of said S 1/2 of the NE 1/4 a distance of 1950.32 feet to a point;

Thence leaving said northerly boundary S 1°01'48"W a distance of 40.00 feet to a 5/8 inch diameter iron pin marking the northwesterly corner of said Lot 2 and the POINT OF BEGINNING;

Thence continuing S 1°01'48"W along the westerly boundary of said Lot 2 a distance of 802.52 feet to a 5/8 inch diameter iron pin marking the southwesterly corner of said Lot 2, said corner also being on the northeasterly boundary of SAILING HAWKS SUBDIVISION as shown in Book 117 at Page 17747 in the office of the Recorder, Ada County, Idaho;

Thence S 66°00'55"E along the southwesterly boundary of said Lot 2 and the northeasterly boundary of said SAILING HAWKS SUBDIVISION a distance of 379.77 feet to a 5/8 inch diameter iron pin marking the southwesterly corner of GREINERS HOPE SPRINGS SUBDIVISION No. 1 as shown in Book 118 of Plats at Pages 18271 - 18274 in said office of the Recorder;

Thence along the westerly boundary of said GREINERS HOPE SPRINGS SUBDIVISION No. 1 the following described courses:

Thence leaving said boundaries N 23°59'05"E a distance of 165.00 feet to a 5/8 inch diameter iron pin;

Thence S 66°00'55"E a distance of 13.54 feet to a 5/8 inch diameter iron pin;

Thence N 69°08'41"E a distance of 18.35 feet to a 5/8 inch diameter iron pin;

Thence a distance of 199.65 feet along the arc of a 525.00 foot radius non-tangent curve right, said curve having a radius point bearing of S 65°41'40"E, a central angle of 21°47'22" and a long chord bearing N 35°12'01"E a distance of 198.45 feet to a 5/8 inch diameter iron pin;

Thence N 46°05'42"E a distance of 22.91 feet to a 5/8 inch diameter iron pin;

Thence N 43°54'18"W a distance of 31.53 feet to a 5/8 inch diameter iron pin;

Thence N 88°42'57"W a distance of 50.00 feet to a 5/8 inch diameter iron pin;

Thence N 1°17'03"E a distance of 112.00 feet to a 5/8 inch diameter iron pin;

Thence N 13°32'49"W a distance of 51.72 feet to a 5/8 inch diameter iron pin;

Thence N 1°17'03"E a distance of 230.00 feet to a 5/8 inch diameter iron pin;

Thence N 2°48'38"E a distance of 50.02 feet to a 5/8 inch diameter iron pin;

Thence N 1°17'04"E a distance of 150.00 feet to a 5/8 inch diameter iron pin on the southerly right-of-way of W New Hope Road, said corner also being the northwesterly corner of said GREINERS HOPE SPRINGS SUBDIVISION No. 1;

Thence leaving said westerly boundary N 88°42'57"W along said southerly right-of-way a distance of 489.68 feet to the POINT OF BEGINNING.

This parcel contains 9.79 acres, more or less.

All the lots in this subdivision will be eligible to receive irrigation water as provided under Idaho Code 31-3805(1)(b) and lies within the Middleton Irrigation Association, the Middleton Mill Ditch Company, and the Farmers Union Ditch Company and are subject to assessments for said water.

All the lots in this subdivision will be eligible to receive water service from the Star Sewer and Water District. The Star Sewer and Water District has agreed in writing to serve all the lots in this subdivision.

The public streets shown on this plat are hereby dedicated to the public. Public utility, pressure irrigation and drainage easements on this plat are not dedicated to the public, but the right of access to, and use of, these easements is hereby reserved for public utilities, pressure irrigation and drainage, and any other purposes as may be designated hereon and no permanent structures other than for said uses are to be erected within the limits of said easements.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HAND THIS 4TH DAY OF December, 2020.

GREEN VILLAGE 2 DEVELOPMENT, INC.


By Tucker M. Johnson, President

ACKNOWLEDGMENT

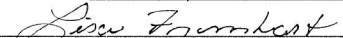
STATE OF IDAHO } S.S.
COUNTY OF ADA }

ON THIS 4TH DAY OF December, 2020, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE PERSONALLY APPEARED TUCKER M. JOHNSON, KNOWN TO ME TO BE THE PRESIDENT OF GREEN VILLAGE 2 DEVELOPMENT, INC. THE PERSON WHO EXECUTED THE INSTRUMENT AND ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

MY COMMISSION EXPIRES 2-09-22

RESIDING AT Boise, ID


NOTARY PUBLIC FOR THE STATE OF IDAHO



CIVIL SURVEY CONSULTANTS, INC.

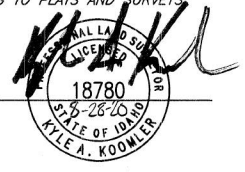
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208) 888-4312

GREINERS HOPE SPRINGS SUBDIVISION No. 2

CERTIFICATE OF SURVEYOR

I, KYLE A. KOOMLER DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF IDAHO, AND THAT THIS PLAT AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" WAS DRAWN FROM THE FIELD NOTES OF A SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

KYLE A. KOOMLER, PLS
IDAHO NO. 18780



APPROVAL OF THE CITY ENGINEER

I, THE UNDERSIGNED CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, ON THIS DAY, December 2, 2020 HEREBY APPROVE THIS PLAT OF GREINERS HOPE SPRINGS SUBDIVISION No. 2.

Ryan T. Meyer PE #11621
CITY ENGINEER ~ STAR, IDAHO

CERTIFICATE OF THE COUNTY SURVEYOR

I, THE UNDERSIGNED, COUNTY SURVEYOR IN AND FOR ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

D.C.P. Long
ADA COUNTY SURVEYOR
PLS # 13553
7 December 2020



CERTIFICATE OF COUNTY RECORDER

STATE OF IDAHO } S.S.
COUNTY OF ADA }

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF Civil Survey Consultants, Inc., AT 39 MINUTES PAST 1 O'CLOCK P.M. ON THIS 29 DAY OF Dec, 2020.

J. F. Finner
DEPUTY

Phil McGrane
EX-OFFICIO RECORDER

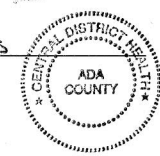
BOOK 119 PAGES 18557 - 18560

INSTRUMENT NO. 2020-1629110

HEALTH CERTIFICATE

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE-IMPOSED IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF DISAPPROVAL.

Joni Paul PHS
CENTRAL DISTRICT HEALTH



DATE 9.2.2020

ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ACCEPTANCE

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE 23 DAY OF NOV, 2020.



Bruce S. Wong
Signed by Bruce S. Wong,
Director for President

APPROVAL OF CITY COUNCIL

I, THE UNDERSIGNED, CITY CLERK IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE CITY COUNCIL HELD ON October 6, 2020 THIS FINAL PLAT WAS APPROVED AND ACCEPTED.



Chairman
CHAIRMAN DEPUTY CITY CLERK

CERTIFICATE OF THE COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS OF I.C. 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

DATE 12.8.2020

Elizabeth Mahn
COUNTY TREASURER
Signed by Deputy eleonora leyall



FIRST AMENDMENT TO MASTER DECLARATION
OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS
FOR
GREINERS HOPE SPRINGS SUBDIVISION

(To Annex Greiners Hope Springs Subdivision No. 2)

January 6, 2021

RECITALS

WHEREAS, there has been recorded by Green Village 2 Development, Inc., an Idaho corporation (hereafter "GV2"), as Grantor, a Master Declaration of Covenants, Conditions, Restrictions and Easements for Greiners Hope Springs Subdivision No. 1, dated August 20, 2020 recorded August 21, 2020, as Instrument No. 2020-107706 records of Ada County, Idaho (hereafter as amended the "Master Declaration"); and

WHEREAS, the Master Declaration allows for the annexation of additional real property to Greiners Hope Springs Subdivision, which additional real property, when annexed, is brought within the provisions of the Master Declaration; and

WHEREAS, the Master Declaration allows the Grantor to supplement the Master Declaration with additional or different covenants and restrictions which shall be applicable to the annexed property; and

WHEREAS, the purpose of this First Amendment is to annex the additional property hereafter described, and upon such annexation to subject such additional property to all of the terms, covenants, conditions, restrictions and easements contained in the Master Declaration, as amended.

ARTICLE I.

PROPERTY COVERED

The property which is covered by this First Amendment and which shall be annexed under the Master Declaration is the real property described as follows (hereafter "Annexed Property"):

GREINERS HOPE SPRINGS SUBDIVISION NO. 2, according to the official plat thereof filed in Book 119 of Plats at Pages 18557 through and including 18560 as Instrument No. 2020-168910 records of Ada County, Idaho.

ARTICLE II.

DEFINED TERMS

Unless the context otherwise specifies or requires, the words and phrases in this First Amendment shall have the same meaning as such words and phrases are defined in the Master Declaration.

ARTICLE III.

ANNEXATION AND DECLARATION

Pursuant to Section 12.01 of the Master Declaration, GV2 hereby declares that the Annexed Property is annexed to the Subdivision, and brought within the provisions of the Master Declaration, and is hereby made subject to all of the covenants, conditions, restrictions and easements of the Master Declaration, in addition to the covenants, conditions, restrictions and easements shown and designated on the recorded plat for the Annexed Property.

ARTICLE IV.

OWNERS ASSOCIATION

As provided in Section 12.01 of the Master Declaration, upon the annexation of the Annexed Property, the Owners of the Lots within the Annexed Property shall become members of Greiners Hope Springs Owners Association, Inc. (as defined in the Master Declaration), with all rights privileges and obligations as all other members.

ARTICLE V.

COMMON AREA LOTS

Lot 21 of Block 1, Lot 9 of Block 6, and Lot 8 of Block 8 of Greiners Hope Springs Subdivision No. 2 are Common Area Lots and as such are to be maintained by the Association.

ARTICLE VI.

ADA COUNTY HIGHWAY DISTRICT STORM WATER AND DRAINAGE SYSTEM

A portion of Lot 9 of Block 6 and Lot 8 of Block 8 is servient to and contains an Ada County Highway District storm water drainage system. These lots are encumbered by that certain Master Perpetual Storm Water Drainage Easement recorded on May 8, 2009 as Instrument No. 109053259 records of Ada County, Idaho, and as amended by the First Amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015, as Instrument No. 2015-103256, both of which are incorporated herein by this reference as if set forth in full (the "Master Easement"). The Master Easement and storm water drainage system are dedicated to the Ada County Highway District pursuant to Idaho code Section 42-2302. The Master Easement is for the operation and maintenance of the storm water drainage system. Said easement shall remain free of all encroachments and obstructions (including fences and trees) which may adversely affect the operation and maintenance of the storm drainage facilities.

- (a) **Operation and Maintenance.** Operation and maintenance of the storm water drainage facilities shall be governed by the Storm Water Operations and Maintenance Manual for Greiners Hope Springs Subdivision prepared by Civil Survey Consultants dated September 8, 2020, and as may be amended, and incorporated hereto by this reference, which manual may only be modified with the written approval of the Ada County Highway District.
- (b) **Inspection and Maintenance.** The Ada County Highway District shall have the right at all times to inspect the storm water drainage facilities and perform any required maintenance and repairs.
- (d) **Assessment and Lien Rights.** The Ada County Highway District shall be entitled to levy assessments to the Association for the reasonable costs of all required maintenance and repairs to the storm water drainage facilities and shall be entitled to a continuing lien against all Lots for such unpaid assessments for maintenance and repair to the storm water drainage facilities.
- (d) **Approval of Amendments.** Any amendment of this Declaration, the covenants, conditions and restrictions contained herein, or the manual referred to in Paragraph (a), above, having any direct impact or effect on the Ada County Highway District's storm water drainage facilities shall be subject to prior review and approval by the Ada County Highway District.

ARTICLE VII.

ADA COUNTY HIGHWAY DISTRICT LICENSE AGREEMENT

In addition to the Temporary License Agreement mentioned in Section 7.07 of the Master Declaration, Grantor, as "Licensee", has entered into a Temporary License Agreement dated September 15, 2020 recorded instrument number 2020-120205, records of Ada County, Idaho (the "License") with the Ada County Highway District ("ACHD") which permits the Licensee to install certain landscaping improvements in ACHD's right-of-way adjacent to or within the Subdivision, subject to the terms and conditions stated therein. Among other requirements, the License requires the Licensee to maintain all improvements placed in the right of way, to remove, relocate and/or modify the improvements if ACHD so requires, and to hold harmless and defend ACHD against all claims arising out of Licensee's use of the right of way or its failure to comply with the terms of the License. Grantor hereby assigns to the Association all of Grantor's rights, duties and obligations under the License, including, without limitation, the obligations described in this subsection, and the Association shall assume and perform all such rights, duties and obligations from and after the date this Declaration is recorded in the office of the Ada County Recorder. In furtherance of the foregoing, the Association shall in all ways cooperate with the Grantor and execute, acknowledge and deliver any and all such further documents and instruments and do and perform any and all other acts as may be necessary to effect and carry out the said assignment and assumption, including, without limitation, executing any documents and instruments required by ACHD for such purposes.

ARTICLE VIII.

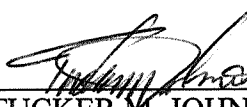
EFFECTIVE DATE

This First Amendment shall be effective from and after the date it is recorded in the official Records of Ada County, Idaho.

IN WITNESS WHEREOF, the Grantor, pursuant to Section 12.01 of the Master Declaration, has hereunto executed this First Amendment as of the date and year first above written.

GREEN VILLAGE 2 DEVELOPMENT, INC.

By


TUCKER M. JOHNSON,
President

STATE OF IDAHO)
) ss:
County of Ada)

On this 6TH day of January, 2021, before me, the undersigned, a Notary Public in and for said State, personally appeared **TUCKER M. JOHNSON**, known or identified to me to be the president of Green Village 2 Development, Inc., an Idaho Corporation, and the person who executed the foregoing instrument on behalf of said Corporation, and acknowledged to me that such Corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



Lisa Fromhart
Notary Public for Idaho
Residing at Boise, Idaho
My Commission Expires: 2/09/22

STORM WATER OPERATIONS AND MAINTENANCE MANUAL

For

GREINERS HOPE SPRINGS SUBDIVISION

September 8, 2020

Prepared for

**Green Village 2 Development, Inc.
Box 372
Eagle, Idaho 83616**

Prepared by

**Civil Survey Consultants, Inc
2893 S. Meridian Road
Meridian, Idaho 83642**

**STORM WATER OPERATIONS AND MAINTENANCE MANUAL
FOR
GREINERS HOPE SPRINGS SUBDIVISION**

Table of Contents

Narrative

Storm Water System Description	1.
Maintenance	1.
Combination Detention Pond/Park Facilities	2.
Maintenance Cost Estimate	2.

Appendix

Appendix A	- Storm Drainage Master Plan Map
Appendix B	- Facilities Design Plans (reduced)
Appendix C	- Final Plats and Easements (reduced)

STORM WATER OPERATIONS AND MAINTENANCE MANUAL

FOR

GREINERS HOPE SPRINGS SUBDIVISION

STORM WATER SYSTEM DESCRIPTION

Greiners Hope Springs Subdivision is a ±62-acre subdivision located in northwest Star on the south side of New Hope Road just East of Munger Road. Storm water runoff from the subdivision is managed via multiple drainage facilities within the project. Some of the drainage facilities are underground seepage beds and others include pairing of above ground storage with underground seepage beds. This manual primarily addresses maintenance of the above ground facilities.

In a significant storm event, storm water runoff will initially concentrate on lots and in roads, then flow in the roadway gutters into storm water inlets. Storm drain piping then transports the runoff below ground to drainage facilities. Pipes are typically sized to carry the 100-year recurrence interval storm event though in some circumstances where topography allows, pipe are sized for 25-year storm events with the balance of the storm transported in the roadway gutters.

Storm water runoff is managed through a mixture of above ground detention and subsurface seepage bed facilities. The above ground detention facilities will typically double as usable open space parks for the residents of the subdivision. During large storm events, the park basins will detain much of the storm water for up to several hours. During and after storm events, water will pass into seepage beds within the park and infiltrate into the ground.

MAINTENANCE

ADA COUNTY HIGHWAY DISTRICT

Storm Drain Manholes used in this subdivision are “Catch manholes”. They act to trap some sediments from the runoff. These manholes require periodic cleaning by the Ada County Highway District (ACHD).

Sediment/Skimmer Boxes (a.k.a. sand and grease traps) are typically installed just upstream of the detention basins and infiltration beds. These structures require periodic cleaning of grease and sediment. ACHD is responsible for this maintenance.

Drainage Inlets include one-foot sumps per ACHD’s current policy. Inlets require periodic cleaning by the ACHD. Additionally, they may require cleaning during the fall season when leaves are prone to clog the inlets. The ACHD is responsible for maintenance within the roadway and should be notified if inlets become clogged.

HOMEOWNERS ASSOCIATION

The **Detention Ponds** or park basins will be grass lined and will be dry except during storm events. The areas will require regular maintenance consisting of watering and cutting the grass during spring, summer and early fall months. This maintenance is the sole responsibility of the homeowners association. An automatic sprinkler system was installed when the subdivision was built and its maintenance is the responsibility of the homeowners association. The grass will require annual fertilization and will possibly require reseeding if it dies. These items are also the responsibility of the homeowners association. Dead grass is not acceptable in the operation of this storm water management system.

STORM WATER OPERATIONS AND MAINTENANCE MANUAL

FOR

GREINERS HOPE SPRINGS SUBDIVISION

COMBINATION DETENTION POND/PARKS

The primary purpose of all lots used for storm water detention basins is the storm water management function. Any additions to the facilities, such as park benches or additional landscaping, should be considered temporary and may be removed when heavy maintenance of the facilities is needed. Replacement of these items will be the responsibility of the homeowners association.

It is unlikely that heavy maintenance will be required. However, if it is, it will likely be for the replacement or repair of the pipes or the seepage beds. Therefore, it is recommended that no permanent structures or trees be placed near the pipes shown on the site map included in this manual.

MAINTENANCE ESTIMATES

BASIN A - lot 8 of block 8 (Phase 2)		Pond Area: 14,500 SF	
Items	Recurrence	Approx. Unit Cost*	Approx. Total Annual Cost*
Mow Grass	Weekly	\$100	\$2,800
Fertilize	Semi-annually	\$100	\$200
Sprinkler System			
Winterize (fall)	Annually	\$50	\$50
Initialize (spring)	Annually	\$50	\$50
Maintenance/Repair	As required	\$200	\$200
Total			\$3,300
BASIN B - lot 9 of block 6 (Phase 2)		Pond Area: 7,500 SF	
Items	Recurrence	Approx. Unit Cost*	Approx. Total Annual Cost*
Mow Grass	Weekly	\$75	\$2,100
Fertilize	Semi-annually	\$75	\$150
Sprinkler System			
Winterize (fall)	Annually	\$50	\$50
Initialize (spring)	Annually	\$50	\$50
Maintenance/Repair	As required	\$150	\$150
Total			\$2,500
TOTAL ESTIMATED ANNUAL MAINTENANCE COST			\$5,800

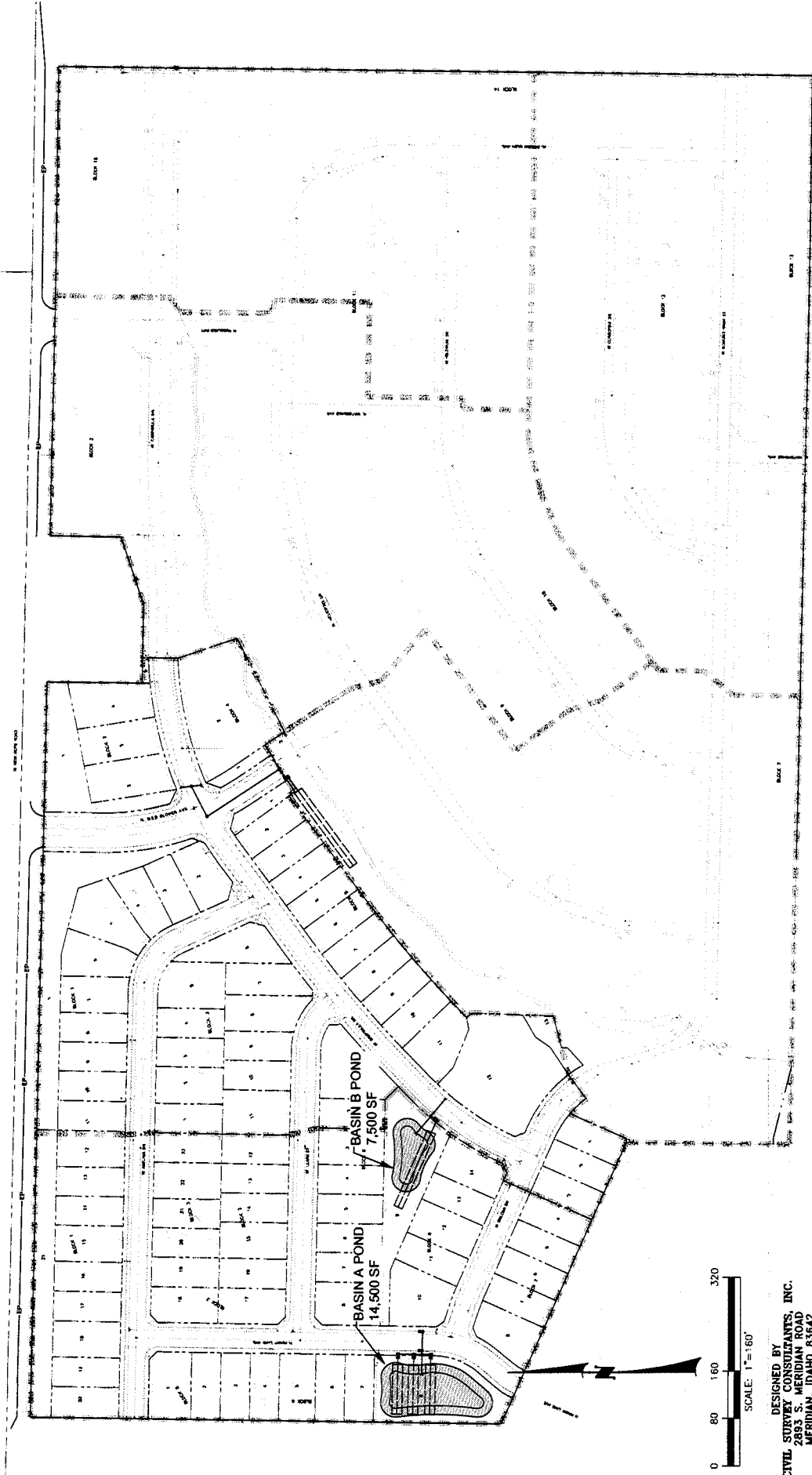
* Note: This is an estimate to do the minimum work required to maintain the storm water facilities. Actual bids may vary.

Appendix A

Storm Drainage Pond Location Map (Overlay on Preliminary Plat)

GREINERS HOPE SPRINGS SUBDIVISION STORMWATER FACILITIES MAP

8/13/2020



Appendix B

Facilities Design Plans

GREINERS HOPE SPRINGS SUB. NO. 1 CONSTRUCTION PLANS	DATE	1/17/2010
	REP. NO. SHEET NO.	154-10-001 1 OF 26
TITLE SHEET		

DRAINAGE PLAN & PROFILE

1 NERS HOPE SPRINGS SUB. No. 1

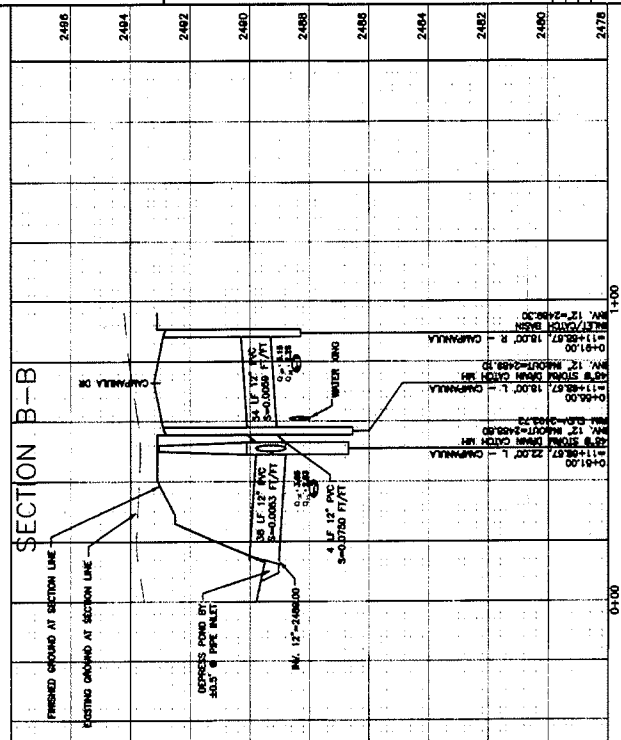
CIVIL SURVEY CONSULTANTS, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS
2883 S. MICHIGAN ROAD
ANN ARBOR, MI 48106
FOR 968-0113
FAX 968-0113
email: jphoenix@csurvey.com

2883 S. MEDIAN ROAD
MEMPHIS, TENN 38143
(208) 868-4512
Fax 868-0323
mailto:money@money.net

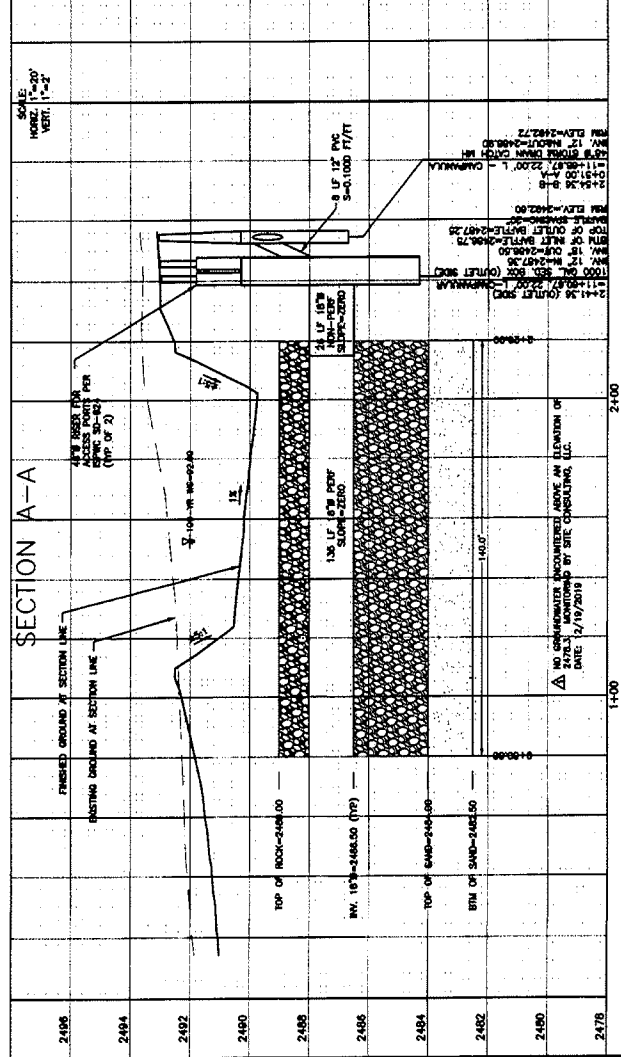
CH0604			
CH0603			
X01/Ref			
W0000	05/05/17	Refusers per 1000/100 of the community	
Ref	1/30/17	Refusers per 1000/100 of the community	
CH0602	1/17/17	Refusers per 1000/100 of the community	
10000/1000 (1)	DATA	Refusers per 1000/100 of the community	



ION B-B



ON A-A



Plans Are Accepted For Public Street Construction

By accepting and signing the improvement plans, the Ring Street Engineer indicates that District 10 has the plans considered to be District 10's responsibility. The plans are subject to the District 10 Engineer's review and approval. The District 10 Engineer will review the plans and, if approved, will sign the plans. The District 10 Engineer will also sign the improvement plans, if the District 10 Engineer approves the plans. The District 10 Engineer will also sign the improvement plans, if the District 10 Engineer approves the plans.

Marked by *DATE 3-14-20*
BY *Marked by* *DATE 3-14-20*

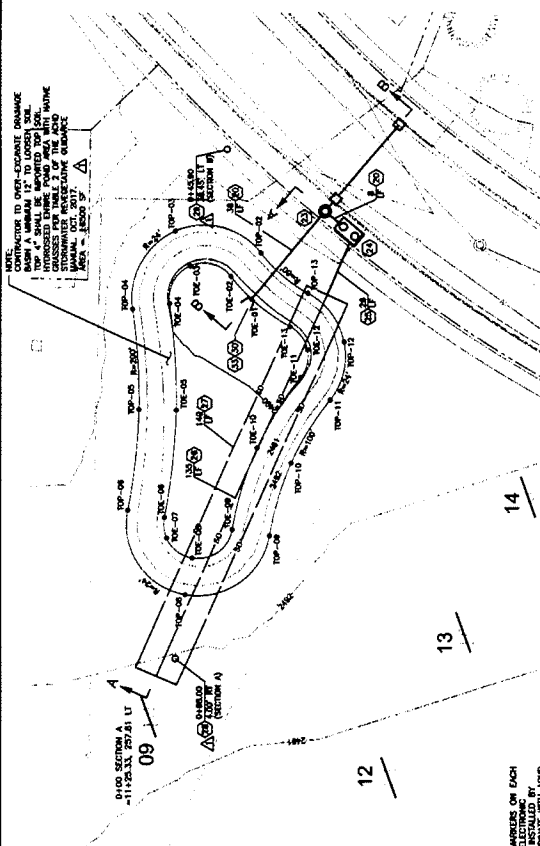
**PIPE PERFORATION
SCHEDULE**

POND LAYOUT TABLE		FINISHED GRADE	
POND	OFFSET	STATION	FINISHED GRADE
1	24.81	100	148.50
2	11.88	100	147.50
3	11.88	100	146.50
4	11.88	100	145.50
5	11.88	100	144.50
6	11.88	100	143.50
7	11.88	100	142.50
8	11.88	100	141.50
9	11.88	100	140.50
10	11.88	100	139.50
11	11.88	100	138.50
12	11.88	100	137.50
13	11.88	100	136.50
14	11.88	100	135.50
15	11.88	100	134.50
16	11.88	100	133.50
17	11.88	100	132.50
18	11.88	100	131.50
19	11.88	100	130.50
20	11.88	100	129.50
21	11.88	100	128.50
22	11.88	100	127.50
23	11.88	100	126.50
24	11.88	100	125.50
25	11.88	100	124.50
26	11.88	100	123.50
27	11.88	100	122.50
28	11.88	100	121.50
29	11.88	100	120.50
30	11.88	100	119.50
31	11.88	100	118.50
32	11.88	100	117.50
33	11.88	100	116.50
34	11.88	100	115.50
35	11.88	100	114.50
36	11.88	100	113.50
37	11.88	100	112.50
38	11.88	100	111.50
39	11.88	100	110.50
40	11.88	100	109.50
41	11.88	100	108.50
42	11.88	100	107.50
43	11.88	100	106.50
44	11.88	100	105.50
45	11.88	100	104.50
46	11.88	100	103.50
47	11.88	100	102.50
48	11.88	100	101.50
49	11.88	100	100.50
50	11.88	100	99.50
51	11.88	100	98.50
52	11.88	100	97.50
53	11.88	100	96.50
54	11.88	100	95.50
55	11.88	100	94.50
56	11.88	100	93.50
57	11.88	100	92.50
58	11.88	100	91.50
59	11.88	100	90.50
60	11.88	100	89.50
61	11.88	100	88.50
62	11.88	100	87.50
63	11.88	100	86.50
64	11.88	100	85.50
65	11.88	100	84.50
66	11.88	100	83.50
67	11.88	100	82.50
68	11.88	100	81.50
69	11.88	100	80.50
70	11.88	100	79.50
71	11.88	100	78.50
72	11.88	100	77.50
73	11.88	100	76.50
74	11.88	100	75.50
75	11.88	100	74.50
76	11.88	100	73.50
77	11.88	100	72.50
78	11.88	100	71.50
79	11.88	100	70.50
80	11.88	100	69.50
81	11.88	100	68.50
82	11.88	100	67.50
83	11.88	100	66.50
84	11.88	100	65.50
85	11.88	100	64.50
86	11.88	100	63.50
87	11.88	100	62.50
88	11.88	100	61.50
89	11.88	100	60.50
90	11.88	100	59.50
91	11.88	100	58.50
92	11.88	100	57.50
93	11.88	100	56.50
94	11.88	100	55.50
95	11.88	100	54.50
96	11.88	100	53.50
97	11.88	100	52.50
98	11.88	100	51.50
99	11.88	100	50.50
100	11.88	100	49.50

KEYNOTES

KEYNOTE

17% SUEDE PVC, STUCCO DRAIN PIPE
17% SUEDE PVC, STUCCO DRAIN PIPE
40% STUCCO DRAIN CATCH MANHOLE FOR SPC# 50-411
1000 GALLON SLOTTED BOX FOR SPC# 50-404
18" HIGH-PERFORMED COMPAGATED HOPE PIPE
18" HIGH-PERFORMED COMPAGATED HOPE PIPE, SEE DETAIL ON SHEET 14.
DRAIN TRENCH FOR ACID BAY 20 AND DUEALS ON SHEET 14.
DRAIN TRENCH FOR ACID BAY 20 AND DUEALS ON SHEET 14.
DRAIN TRENCH MATERIALS PER 20-507 OF THE ACID SUPPLEMENT TO THE
CONCRETEWORK OBSERVATION FILE PER 20-427 OF THE ACID SUPPLEMENT TO THE
2017 SPC#
12% PRECAST CONCRETE PIPE FLARED END WITH THUSH BAY (ACID BAY TO SPC#)
12" RAIN INLET PROTECTION PER 20-508 (ACID BAY TO SPC#)



NOTE: ACHD IS NOW RETURNING ELECTRONIC MARKERS ON EACH CORNER OF THE DRAIN TRENCH FOOTINGS. ELECTRONIC MARKERS SHALL BE PROVIDED BY ACHD AND INSTALLED BY THE CONTRACTOR. CONTRACTOR SHALL COORDINATE WITH ACHD INSPECTOR DURING CONSTRUCTION.

STORMWATER RETENTION BASIN 8
OVERALL DRAINAGE AREA=4.76 Ac
VOLUME (V1000)= 110,000 CF (77MA-4720)

BASIN C DRAINAGE PLAN

MEMBERS HOPE SPRINGS SUB. No. 1

CIVIL SURVEY CONSULTANTS, INC.

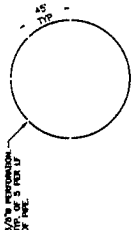
CONSULTING ENGINEERS AND LAND SURVEYORS
2803 S. MENDOTA ROAD
MENDOTA, ILLINOIS 61843
(208) 888-4512
FAX 888-0323
email: jmonroy@earthlink.net

2803 S. MICHIGAN ROAD
MICHIGAN, IDAHO 83642
(208) 888-4512
FAX 208-0323
email: jmoney@bfhaurvey.net

[illegible]

KEYNOTES

- 24 1000 GALLON SEDIMENT BOX PER RPPC 30-424
- 25 18" NON-PORFATED CORRUGATED HOPE PIPE
- 26 18" PERFORATED CORRUGATED HOPE PIPE. SEE DETAIL ON THIS SHEET
- 27 DRAIN TRENCH PER ACHD S&P 20 AND DETAILS ON THIS SHEET
- 28 6"X8" TRENCH UNDERDRAIN WELL PER 30-427 OF THE ACHD SUPPLEMENT TO THE 2017 IOWA LAW DETAIL ON THIS SHEET
- 29 BIORETENTION OBSERVATION WELL PER 30-427 OF THE ACHD SUPPLEMENT TO THE 2017 IOWA LAW DETAIL ON THIS SHEET

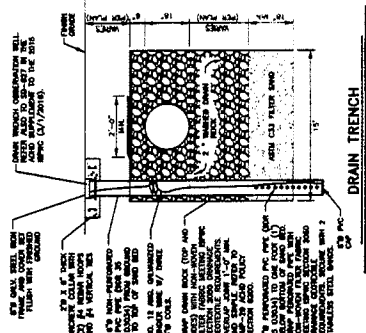


Plans Are Accepted For Public Street Construction

SEARCHED AND SERIALIZED BY _____ DATE 3-16-20
INDEXED BY _____
FBI - NEW YORK

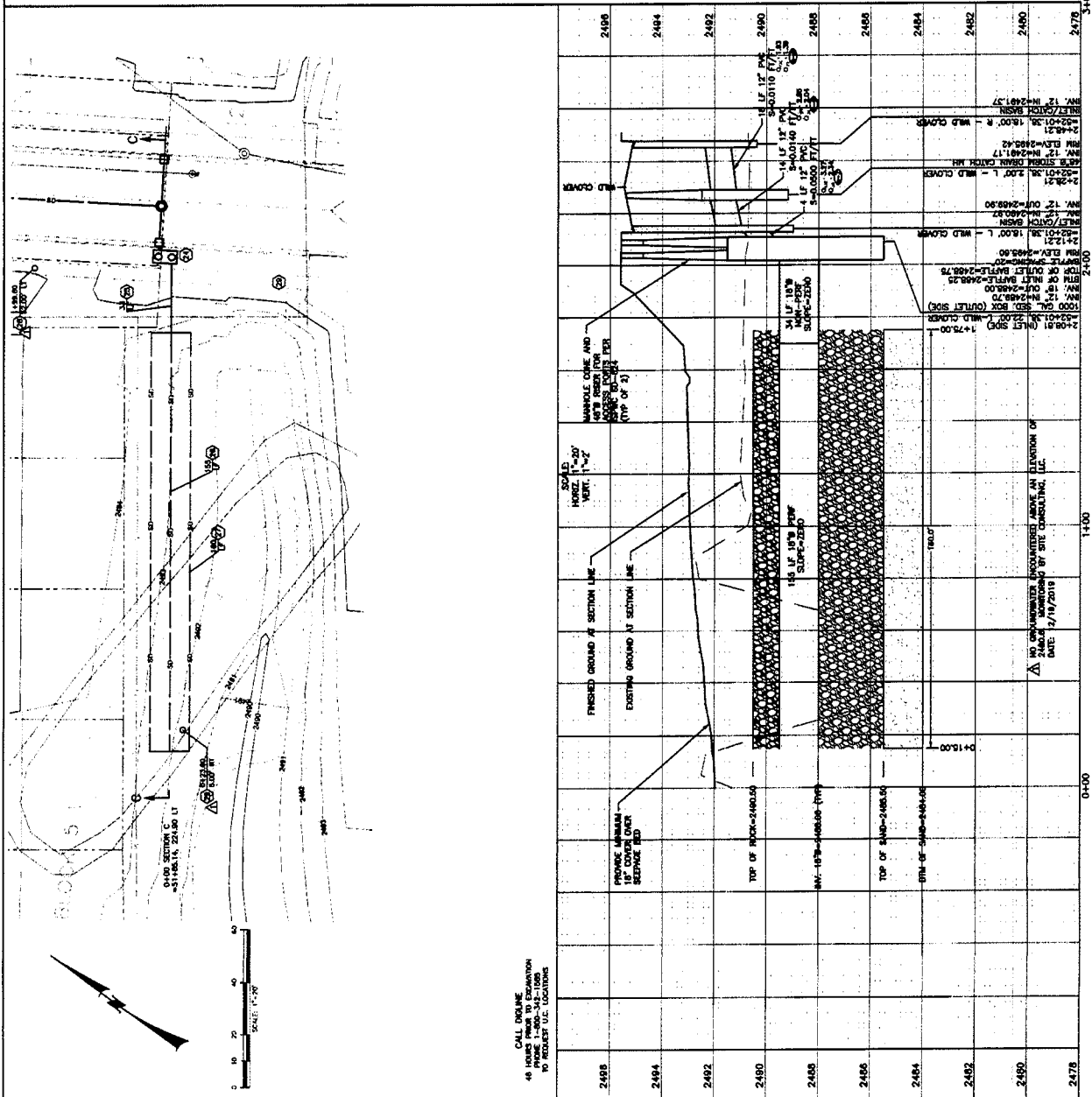
PIPE PERFORATION SCHEDULE

3/8" PENETRATIONS LOCATED IN VALLEYS
BETWEEN 6/8" OF CONSOLIDATED PIPE. PENETRATIONS
SHALL BE IN TOP HALF OF PIPE ONLY.
PENETRATIONS SHALL BE SPACED AT 1'±
O.C. LONGITUDINALLY.



FOR TO AD-9 3D-677 FOR MORE DETAIL.
M.T.S.

THE BOTTOM OF SAND ELEVATION SHOWN IS THE DESIGN INFILTRATION DEPTH. SOILS AT DESIGN DEPTH SHOULD BE COMPACTED WITH CORNER ROLLERS. THERE SHALL BE AN 8% MINIMUM INFLATION RATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF INFILTRATION FACILITY. THE ENGINEER IMMEDIATELY BY GROUNDWATER IS ENCOURAGED TO CONSIDER AN INFLATION RATE OF 3 FEET OF THE BOTTOM DESIGN ELEVATION OF THE INFILTRATION FACILITY.



GREINERS HOPE SPRINGS SUBDIVISION NO. 2 CONSTRUCTION PLANS JULY 2020

A DEVELOPMENT BY
GREEN VILLAGE 2 DEVELOPMENT, INC.
RD BOX 372
EAGLE, IDAHO 83616
CONTACT: TUCKER JOHNSON
TJohnson@id.com
(208)377-4104

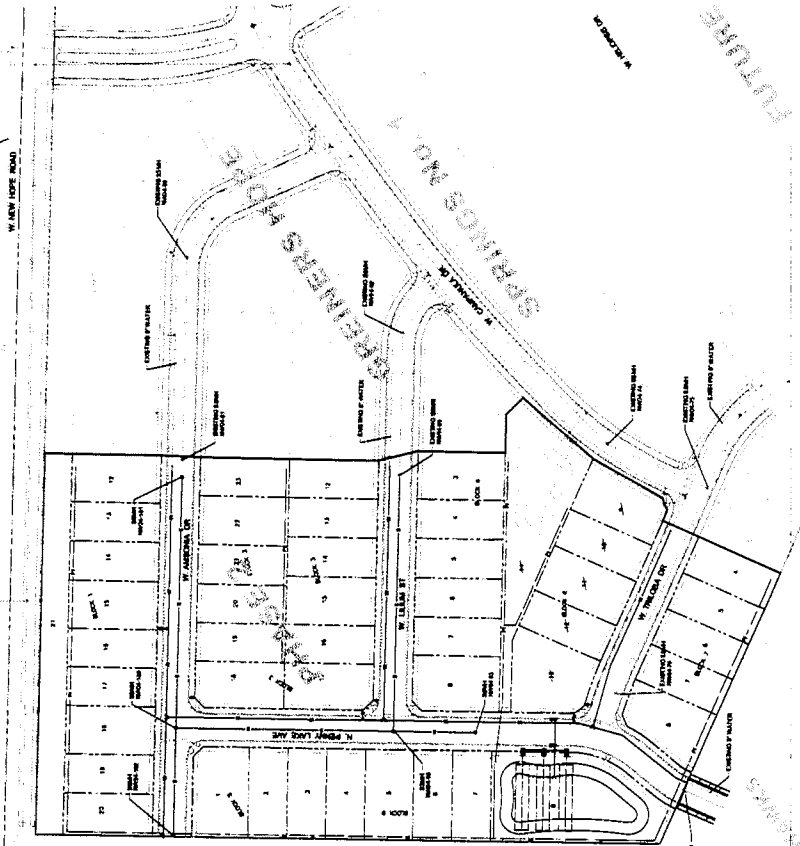
PLANS & SPECIFICATIONS REVIEW
These plans and specifications have been reviewed by the Idaho State Engineer's Office and approved for recording with the State of Idaho. This review does not constitute a warranty or endorsement of the plans or specifications, nor does it constitute a guarantee of the accuracy or completeness of the information provided. The engineer assumes no responsibility for the design and construction of the project, nor for the safety of the project. The engineer's only responsibility is to provide a professional opinion on the plans and specifications as presented.



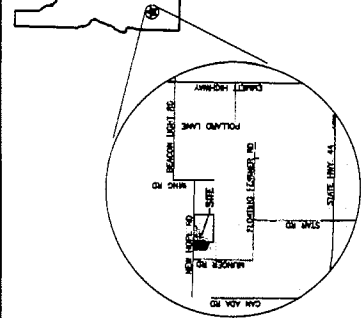
NO.	REVISIONS	DATE
1	ISSUED FOR PERMITS	07/22/2020
2	ISSUED FOR CONSTRUCTION	07/22/2020
3	ISSUED FOR RECORD	07/22/2020
4	ISSUED FOR RECORD	07/22/2020
5	ISSUED FOR RECORD	07/22/2020
6	ISSUED FOR RECORD	07/22/2020
7	ISSUED FOR RECORD	07/22/2020
8	ISSUED FOR RECORD	07/22/2020
9	ISSUED FOR RECORD	07/22/2020
10	ISSUED FOR RECORD	07/22/2020
11	ISSUED FOR RECORD	07/22/2020
12	ISSUED FOR RECORD	07/22/2020
13	ISSUED FOR RECORD	07/22/2020
14	ISSUED FOR RECORD	07/22/2020
15	ISSUED FOR RECORD	07/22/2020
16	ISSUED FOR RECORD	07/22/2020
17	ISSUED FOR RECORD	07/22/2020
18	ISSUED FOR RECORD	07/22/2020
19	ISSUED FOR RECORD	07/22/2020
20	ISSUED FOR RECORD	07/22/2020

CIVIL SURVEY CONSULTANTS, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS
2865 S. KIDMAN ROAD
MIDLAND, IDAHO 83642
PHONE: (208) 836-4312
FAX: (208) 836-4313
WWW.CIVILSURVEYCONSULTANTS.COM

GREINERS HOPE SPRINGS SUB. NO. 2
CONSTRUCTION PLANS
TITLE SHEET
SHEET 1 OF 15



LOCATION MAP



SHEET INDEX

- TITLE SHEET
- PROJECT NOTES
- ROADWAY DESIGN/ MASTER NOTES
- GRADING PLAN
- ROADWAY PLANS - N. PERRY LANE AVE
- ROADWAY PLANS - W. ASADIAN DRIVE
- ROADWAY PLANS - W. LILIAN STREET
- ROADWAY PLANS - W. TULLOCH DRIVE
- ROADWAY PLANS - DRAINAGE BASIN A
- WATER/SEWER PLANS - LINE "C" - W. LILIAN STREET
- WATER/SEWER PLANS - LINE "B" - N. PERRY LANE AVE
- WATER/SEWER PLANS - LINE "A" - W. ASADIAN DRIVE
- WATER/SEWER PLANS - LINE "D" - W. TULLOCH DRIVE
- PRESSURE IRRIGATION DISTRIBUTION PLAN
- STREET LIGHT PLAN

BENCHMARKS

- BM-1.1 1.5'x1.5' CONCRETE BENCH MARK - 100' WIDE ROAD 10' SOUTHWEST OF CL
ELEV. = 7202.11
BM-2.1 1.5'x1.5' CONCRETE BENCH MARK - 100' WIDE ROAD 10' SOUTHWEST OF CL
ELEV. = 7202.11
BM-2.2 1.5'x1.5' CONCRETE BENCH MARK - 100' WIDE ROAD 10' SOUTHWEST OF CL
ELEV. = 7202.11
BM-2.3 1.5'x1.5' CONCRETE BENCH MARK - 100' WIDE ROAD 10' SOUTHWEST OF CL
ELEV. = 7202.11

Plans Are Accepted For Public
Street Construction
By the Idaho State Engineer's Office
On 07/22/2020
By TUCKER JOHNSON
IDaho State Engineer's Office
1000 N. 10th Street, Suite 100
Boise, ID 83722
Phone: (208) 333-7000
Fax: (208) 333-7001
www.idaho.gov

LEGEND

- CENTERLINE
- LOT LINE
- NEW UTILITY LINE OR PIPE
- NEW DITCH, SNALE OR VALLEY OUTLET
- EXISTING UTILITY LINE
- BENCH MARK
- VALVE
- FIRE HYDRANT
- WATER BLOW-OFF
- SEWER CLEAMOUT
- WATER SERVICE
- EXISTING UTILITY POLE
- EXISTING JUNCTION BOX
- NEW JUNCTION BOX
- NEW STREET LIGHT
- MANHOLE
- STORM DRAIN INLET
- SEWER BOX
- NEW IRRIGATION BOX
- NEW VERTICAL CURB & GUTTER
- NEW ROLLED CURB & GUTTER
- NEW CONCRETE SIDEWALK
- NEW CONCRETE PAVEMENT RAMP

CALL DOWNE
48 HOURS PRIOR TO EXCAVATION
PHONE 1-800-342-1500
TO REQUEST U.C. LOCATIONS

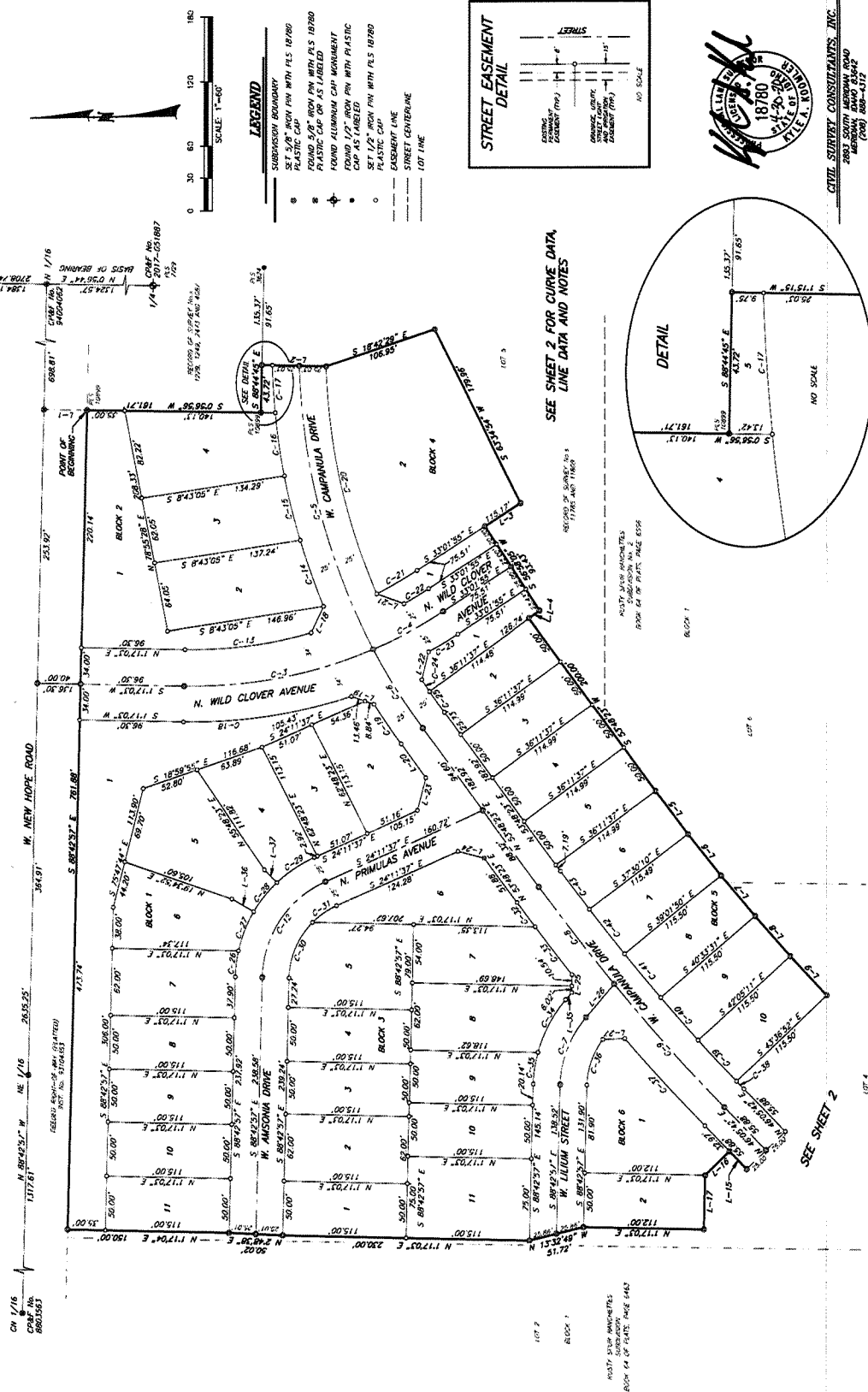
Appendix C

Final Plats and Easements

GREINERS HOPE SPRINGS SUBDIVISION NO. 1

LOCATED IN THE S 1/2 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO,
AND BEING A REPLAT OF A PART OF RUSTY SPUR RANCHETTES SUBDIVISION AND RUSTY SPUR RANCHETTES SUBDIVISION No. 2
A DEVELOPMENT BY GREEN VILLAGE 2 DEVELOPMENT, INC.

2020



CONSULTANTS, INC.
100 BLVD
#4112

CURVE DATA	CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD	CHORD BRNG.
LINE DATA	DISTANCE	BEARING	START	END	MIDPOINT	END	END
LINE DATA	DISTANCE	BEARING	START	END	MIDPOINT	END	END
C-1	17°20'33"	174.00	37.73	18.97	174.61	N 53° 45' 50" W	17.63
C-2	17°14'17"	175.00	109.65	101.25	189.45	N 55° 21' 41" E	189.45
C-3	17°08'51"	176.00	213.18	213.68	375.66	N 56° 58' 12" E	375.66
C-4	16°58'21"	176.00	315.84	316.68	516.61	N 58° 02' 42" E	516.61
C-5	16°49'48"	180.00	213.08	138.43	271.61	N 57° 55' 23" E	271.61
C-6	16°41'15"	180.00	315.00	138.00	375.00	N 58° 00' 00" E	375.00
C-7	16°32'42"	180.00	417.00	137.00	475.00	N 58° 04' 37" E	475.00
C-8	16°24'09"	200.00	134.58	92.31	114.57	N 57° 00' 54" E	87.35
C-9	16°15'36"	200.00	236.62	77.54	124.35	N 56° 55' 31" E	124.35
C-10	16°07'03"	200.00	338.76	58.67	167.34	N 56° 50' 04" E	167.34
C-11	15°58'30"	220.00	101.92	51.61	99.93	N 55° 53' 44" E	99.93
C-12	15°50'00"	220.00	172.61	53.12	126.15	N 55° 47' 11" E	126.15
C-13	15°41'30"	220.00	274.31	54.63	202.34	N 55° 41' 38" E	202.34
C-14	15°33'00"	220.00	376.01	56.14	294.37	N 55° 35' 45" E	294.37
C-15	15°24'30"	220.00	477.71	57.65	386.40	N 55° 29' 52" E	386.40
C-16	15°16'00"	240.00	139.15	68.43	138.39	N 54° 58' 42" W	138.39
C-17	15°07'30"	240.00	241.20	72.62	241.20	N 54° 52' 45" W	241.20
C-18	14°59'00"	240.00	343.25	76.81	343.25	N 54° 46' 48" W	343.25
C-19	14°50'30"	260.00	141.92	71.48	141.92	N 54° 40' 51" W	141.92
C-20	14°42'00"	260.00	243.97	75.67	243.97	N 54° 34' 54" W	243.97
C-21	14°33'30"	260.00	346.02	79.86	346.02	N 54° 28' 57" W	346.02
C-22	14°25'00"	280.00	145.60	84.15	145.60	N 54° 22' 59" W	145.60
C-23	14°16'30"	280.00	247.65	88.34	247.65	N 54° 17' 02" W	247.65
C-24	14°08'00"	280.00	349.70	92.53	349.70	N 54° 11' 05" W	349.70
C-25	13°59'30"	300.00	148.25	96.82	148.25	N 54° 05' 08" W	148.25
C-26	13°51'00"	300.00	250.30	101.01	250.30	N 53° 59' 11" W	250.30
C-27	13°42'30"	300.00	352.35	105.20	352.35	N 53° 53' 14" W	352.35
C-28	13°34'00"	320.00	151.83	109.49	151.83	N 53° 47' 17" W	151.83
C-29	13°25'30"	320.00	253.88	113.68	253.88	N 53° 41' 20" W	253.88
C-30	13°17'00"	320.00	355.93	117.87	355.93	N 53° 35' 23" W	355.93
C-31	13°08'30"	340.00	156.40	121.96	156.40	N 53° 29' 26" W	156.40
C-32	13°00'00"	340.00	258.45	126.15	258.45	N 53° 23' 29" W	258.45
C-33	12°51'30"	340.00	360.50	130.34	360.50	N 53° 17' 32" W	360.50
C-34	12°43'00"	360.00	160.97	134.43	160.97	N 53° 11' 35" W	160.97
C-35	12°34'30"	360.00	263.02	138.62	263.02	N 53° 05' 38" W	263.02
C-36	12°26'00"	380.00	164.54	142.71	164.54	N 52° 59' 41" W	164.54
C-37	12°17'30"	380.00	266.59	146.90	266.59	N 52° 53' 44" W	266.59
C-38	12°09'00"	380.00	368.64	151.09	368.64	N 52° 47' 47" W	368.64
C-39	12°00'30"	400.00	170.11	155.18	170.11	N 52° 41' 50" W	170.11
C-40	11°52'00"	400.00	272.16	159.37	272.16	N 52° 35' 53" W	272.16
C-41	11°43'30"	400.00	374.21	163.56	374.21	N 52° 29' 56" W	374.21
C-42	11°35'00"	420.00	172.23	159.37	172.23	N 52° 23' 59" W	172.23
C-43	11°26'30"	420.00	274.28	163.56	274.28	N 52° 18' 02" W	274.28
C-44	11°18'00"	420.00	376.33	167.75	376.33	N 52° 12' 05" W	376.33
C-45	11°09'30"	440.00	174.25	163.56	174.25	N 52° 06' 08" W	174.25
C-46	11°01'00"	440.00	276.30	167.75	276.30	N 52° 00' 11" W	276.30
C-47	10°52'30"	440.00	378.35	171.94	378.35	N 51° 54' 14" W	378.35
C-48	10°44'00"	460.00	176.27	167.75	176.27	N 51° 48' 17" W	176.27
C-49	10°35'30"	460.00	278.32	171.94	278.32	N 51° 42' 20" W	278.32
C-50	10°27'00"	460.00	380.37	176.13	380.37	N 51° 36' 23" W	380.37
C-51	10°18'30"	480.00	178.29	171.94	178.29	N 51° 30' 26" W	178.29
C-52	10°10'00"	480.00	280.34	176.13	280.34	N 51° 24' 29" W	280.34
C-53	10°01'30"	480.00	382.39	180.32	382.39	N 51° 18' 32" W	382.39
C-54	9°53'00"	500.00	180.45	176.13	180.45	N 51° 12' 35" W	180.45
C-55	9°44'30"	500.00	282.50	180.32	282.50	N 51° 06' 38" W	282.50
C-56	9°36'00"	500.00	384.55	184.51	384.55	N 51° 00' 41" W	384.55
C-57	9°27'30"	520.00	182.61	180.32	182.61	N 50° 54' 44" W	182.61
C-58	9°19'00"	520.00	284.66	184.51	284.66	N 50° 48' 47" W	284.66
C-59	9°10'30"	520.00	386.71	188.70	386.71	N 50° 42' 50" W	386.71
C-60	9°02'00"	540.00	184.77	184.51	184.77	N 50° 36' 53" W	184.77
C-61	8°53'30"	540.00	286.82	188.70	286.82	N 50° 30' 56" W	286.82
C-62	8°45'00"	540.00	388.87	192.89	388.87	N 50° 24' 59" W	388.87
C-63	8°36'30"	560.00	186.83	188.70	186.83	N 50° 19' 02" W	186.83
C-64	8°28'00"	560.00	288.88	192.89	288.88	N 50° 13' 05" W	288.88
C-65	8°19'30"	560.00	390.93	197.08	390.93	N 50° 07' 08" W	390.93
C-66	8°11'00"	580.00	188.89	192.89	188.89	N 50° 01' 11" W	188.89
C-67	8°02'30"	580.00	290.94	197.08	290.94	N 49° 55' 14" W	290.94
C-68	7°54'00"	580.00	392.99	201.27	392.99	N 49° 49' 17" W	392.99
C-69	7°45'30"	600.00	190.95	197.08	190.95	N 49° 43' 20" W	190.95
C-70	7°37'00"	600.00	292.99	201.27	292.99	N 49° 37' 23" W	292.99
C-71	7°28'30"	600.00	395.04	205.46	395.04	N 49° 31' 26" W	395.04
C-72	7°20'00"	620.00	192.01	197.08	192.01	N 49° 25' 29" W	192.01
C-73	7°11'30"	620.00	294.06	201.27	294.06	N 49° 19' 32" W	294.06
C-74	7°03'00"	620.00	396.11	205.46	396.11	N 49° 13' 35" W	396.11
C-75	6°54'30"	640.00	193.97	197.08	193.97	N 49° 07' 38" W	193.97
C-76	6°46'00"	640.00	296.11	201.27	296.11	N 49° 01' 41" W	296.11
C-77	6°37'30"	640.00	398.16	205.46	398.16	N 48° 55' 44" W	398.16
C-78	6°29'00"	660.00	195.03	197.08	195.03	N 48° 49' 47" W	195.03
C-79	6°20'30"	660.00	298.16	201.27	298.16	N 48° 43' 50" W	298.16
C-80	6°12'00"	660.00	400.21	205.46	400.21	N 48° 37' 53" W	400.21
C-81	6°03'30"	680.00	196.99	197.08	196.99	N 48° 31' 56" W	196.99
C-82	5°55'00"	680.00	300.21	201.27	300.21	N 48° 25' 59" W	300.21
C-83	5°46'30"	680.00	402.26	205.46	402.26	N 48° 20' 02" W	402.26
C-84	5°38'00"	700.00	198.05	197.08	198.05	N 48° 14' 05" W	198.05
C-85	5°29'30"	700.00	302.26	201.27	302.26	N 48° 08' 08" W	302.26
C-86	5°21'00"	700.00	404.31	205.46	404.31	N 48° 02' 11" W	404.31
C-87	5°12'30"	720.00	199.91	197.08	199.91	N 47° 56' 14" W	199.91
C-88	5°04'00"	720.00	304.31	201.27	304.31	N 47° 50' 17" W	304.31
C-89	4°55'30"	720.00	406.36	205.46	406.36	N 47° 44' 20" W	406.36
C-90	4°47'00"	740.00	201.87	197.08	201.87	N 47° 38' 23" W	201.87
C-91	4°38'30"	740.00	306.36	201.27	306.36	N 47° 32' 26" W	306.36
C-92	4°30'00"	740.00	408.41	205.46	408.41	N 47° 26' 29" W	408.41
C-93	4°21'30"	760.00	203.83	197.08	203.83	N 47° 20' 32" W	203.83
C-94	4°13'00"	760.00	308.41	201.27	308.41	N 47° 14' 35" W	308.41
C-95	4°04'30"	760.00	410.46	205.46	410.46	N 47° 08' 38" W	410.46
C-96	3°56'00"	780.00	205.85	197.08	205.85	N 47° 02' 41" W	205.85
C-97	3°47'30"	780.00	310.46	201.27	310.46	N 46° 56' 44" W	310.46
C-98	3°39'00"	780.00	412.51	205.46	412.51	N 46° 50' 47" W	412.51
C-99	3°30'30"	800.00	207.87	197.08	207.87	N 46° 44' 50" W	207.87
C-100	3°22'00"	800.00	312.51	201.27	312.51	N 46° 38' 53" W	312.51

2020

SHEET 1 OF 4

CURVE DATA					CHORD BRNG.	
CURVE	DELTA	RADIUS	TANGENT	CHORD	CHORD BRNG.	
C-1	111° 55'	575.00	102.77	51.50	N. 25° 44' E.	
C-2	111° 55'	575.00	102.77	107.60	N. 25° 44' E.	
C-3	124° 26'	725.00	98.89	97.75	N. 25° 44' E.	
C-4	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-5	64° 58'	350.00	81.50	31.02	N. 70° 35' E.	
C-6	64° 58'	350.00	81.50	107.60	N. 70° 35' E.	
C-7	111° 15'	475.00	8.67	3.43	N. 82° 34' E.	
C-8	111° 15'	475.00	10.40	5.50	N. 82° 34' E.	
C-9	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-10	111° 05'	550.00	98.04	49.18	N. 37° 54' E.	
C-11	111° 05'	550.00	98.04	107.60	N. 37° 54' E.	
C-12	59° 51'	440.00	21.60	12.55	N. 59° 51' E.	
C-13	59° 51'	440.00	21.60	107.60	N. 59° 51' E.	
C-14	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-15	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-16	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-17	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-18	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-19	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-20	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-21	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-22	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-23	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-24	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-25	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-26	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-27	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-28	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-29	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-30	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-31	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-32	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-33	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-34	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-35	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-36	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-37	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-38	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-39	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-40	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-41	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-42	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-43	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-44	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-45	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-46	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-47	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-48	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-49	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-50	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-51	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-52	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-53	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-54	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-55	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-56	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-57	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-58	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-59	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-60	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-61	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-62	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-63	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-64	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-65	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-66	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-67	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-68	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-69	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-70	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-71	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-72	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-73	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-74	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-75	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-76	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-77	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-78	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-79	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-80	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-81	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-82	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-83	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-84	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-85	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-86	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-87	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-88	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-89	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-90	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-91	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-92	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-93	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-94	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-95	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-96	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-97	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-98	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-99	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	
C-100	124° 26'	725.00	98.89	107.60	N. 25° 44' E.	

GREINERS HOPE SPRINGS SUBDIVISION No. 2

NOTES

1. THE DEVELOPMENT OF THIS PROPERTY SHALL BE IN COMPLIANCE WITH THE ZONING ORDINANCE OR AS SPECIFICALLY APPROVED BY FILE NO. 12-10-0274-19-0479-19-01.
2. ALL LOTS HAVE A 15 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, LOT DRAINAGE, PRESSURE IRRIGATION AND STREET LIGHT PURPOSES CONTIGUOUS TO ALL PUBLIC STREETS. THE 15 FOOT WIDE EASEMENT ON EACH SIDE FOR PUBLIC UTILITIES, LOT DRAINAGE AND PRESSURE IRRIGATION PURPOSES. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION. ALL OTHER EASEMENTS ARE AS SHOWN.
3. MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF SEAR APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR AS SPECIFICALLY APPROVED AND/OR REQUIRED, OR AS SHOWN ON THIS PLAN.
4. BUILDING AND OCCUPANCY SHALL CONFORM TO THE STANDARDS ESTABLISHED BY THE RESTRICTIVE COVENANTS TO BE FILED IN THE OFFICE OF THE RECORDER, ADA COUNTY, IDAHO.
5. ANY RE-SUBDIVISION OF THIS PLAN SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
6. THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING AREA. THIS PROVISION SHALL NOT BE APPLIED TO ANY AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF WHICH WAS IN EXISTENCE AND NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
7. LOTS ABUTTING PUBLIC RIGHT-OF-WAY ARE SUBJECT TO AN EXISTING EASEMENT CONTIGUOUS TO ALL STREETS AS DESCRIBED IN LIST NO. 2020-051701.
8. LOT 81 OF BLOCK 1, LOT 8 OF BLOCK 2 AND LOT 9 OF BLOCK 3 ARE COMMON LOTS WHICH SHALL BE OWNED AND MAINTAINED BY THE HOPE SPRINGS OWNERS ASSOCIATION. SAID LOTS ARE SUBJECT TO A BLANKET EASEMENT FOR PUBLIC UTILITIES, DRAINAGE AND PRESSURED IRRIGATION PURPOSES. THE PRESSURE IRRIGATION EASEMENT IS RESERVED FOR THE HOPE SPRINGS OWNERS ASSOCIATION.
9. GREINERS HOPE SPRINGS SUBDIVISION NO. 2 IS SUBJECT TO A LICENSE AGREEMENT WITH AHO FOR LANDSCAPING AS DESCRIBED IN INSTRUMENT NO. 2020-087016.
10. DIRECT LOT ACCESS TO N. NEW HOPE ROAD IS PROHIBITED.
11. LOT 9 OF BLOCK 6 AND LOT 8 OF BLOCK 8 ARE SUBJECT TO AND CONTAINS THE ACID STORM WATER DRAINAGE SYSTEM. THESE LOTS ARE EXCLUDED FROM THE HOPE SPRINGS OWNERS ASSOCIATION. THE HOPE SPRINGS OWNERS ASSOCIATION IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE ACID STORM WATER DRAINAGE SYSTEM. THE MASTER EASEMENT IS FOR THE OPERATION AND MAINTENANCE OF THE ACID STORM WATER DRAINAGE SYSTEM. SAID LOTS ARE COMMON LOTS AND WILL BE OWNED AND MAINTAINED BY THE HOPE SPRINGS OWNERS ASSOCIATION.



CIVIL SURVEY CONSULTANTS, INC.
2881 SOUTH MERRIAM ROAD
MERRIAM, IDAHO 83442
(208) 688-6012

Greiner Hope Springs Subdivision No 1
SUBP20-0004
T 4N, R 1W Sec 6

(Reserved for Ada County Recorder's)

TEMPORARY STORM WATER DRAINAGE EASEMENT

This Storm Water drainage Easement ("Easement") is made as of the 5 day of March, 20 20 by and between Tucker M Johnson, Property Owner, and Ada County Highway District, a body corporate and politic of the State of Idaho (hereinafter "ACHD");

WITNESSETH:

For good and sufficient consideration it is agreed:

Section 1. Recitals.

1.1 Grantor owns the parcel of real property located in Ada County, Idaho, more particularly described and depicted on Exhibit "A" attached hereto (the "Servient Estate").

1.2 Grantor is developing a subdivision in Ada County, known as the Greiner Hope Springs Subdivision No 1 and the preliminary plat of the first phase of such subdivision has been approved by ACHD. When the final plat is approved by ACHD and recorded, a public right-of-way for streets and related improvements, including drainage easements will be dedicated to ACHD. When the streets and related improvements are constructed by the Grantor in the right-of-way, and ACHD has accepted the same, they will become a part of the ACHD system of highways.

1.3 The storm water drainage system related to the platted streets to be dedicated to ACHD when the plat referred to in Section 1.2 is recorded will extend beyond the plat and on, over and across the Servient Estate as a temporary storm water drainage system ("Temporary Facility"), to be replaced with a permanent storm water drainage system ("Permanent Facility") with the development of the Servient Estate, and on the terms and conditions hereinafter set forth the Grantor desires to grant to ACHD, and ACHD desires to accept, an easement for storm water drainage on, over, under and across the Servient Estate, and for the repair, maintenance, reconstruction, and enhancement thereof.

Section 2. Grant of Easement

2.1 For the period and on the terms and conditions hereinafter set forth, Grantor hereby grants to ACHD an easement and right-of-way for storm water drainage from the ACHD system of highways on, under, over and across the

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

Servient Estate, and for the repair, maintenance, reconstruction and enhancement of the same (hereafter "Authorized Use")

2.2 The easement herein granted is exclusive to ACHD, and no structures, fences or other improvements are to be constructed, or landscaping planted, on the Servient Estate by Grantor or Grantor's successors or assigns to the underlying title thereto without the prior written consent of ACHD. Such consent will not be given if, in its sole discretion, ACHD determines the proposed improvement and/or landscaping may interfere with ACHD's Authorized Use of the Servient Estate. When such consent is given, if any structures, fences, landscaping or other improvements constructed or planted on the Servient Estate must be removed in order for ACHD to undertake any Authorized Use of the Servient Estate, the costs of removal and replacement or restoration of the same shall be the obligation of Grantor.

Section 3. Construction; Acceptance; Repair and Maintenance; Grantor Indemnification; Contractor Warranties.

3.1 At Grantor's sole cost and expense, Grantor shall construct and install the Temporary Facility on the Servient Estate in accordance with designs, plans and specifications approved by ACHD in advance, in writing. During construction, Grantor shall give ACHD reasonable notice and opportunity to inspect the same.

3.2 When, by written notice given Grantor, ACHD has accepted the Temporary Facility on the Servient Estate as constructed and installed by Grantor, Grantor shall maintain and repair the Temporary Facility thereafter, at its sole cost and expense for the term of this Easement.

3.3 Grantor shall enforce for the benefit of ACHD any warranties for the construction and installation of the Temporary Facility.

3.4 Grantor shall indemnify and save and hold harmless ACHD, its Commissioners and employees, from and against all claims, actions or judgments for damages, injury or death caused by or arising out of the failure or neglect of Grantor to properly construct, install, maintain and repair the Temporary Facility on the Servient Estate.

Section 4. Grantor Indemnification.

Following ACHD's acceptance of the Temporary Facility as constructed by Grantor, Grantor shall indemnify and hold harmless ACHD from and against all claims, actions or judgments for damages, injury or death caused by or arising out of Grantor's failure or neglect to maintain and repair the Temporary Facility on the Servient Estate for the term of this Easement.

Section 5. Term.

The term of this Easement shall commence upon the date of the recording thereof, and continue in full force and effect until: (i) Grantor records a final subdivision plat covering the Servient Estate which includes a dedication of an easement to ACHD serving the same purpose as this Easement, and (ii) ACHD has accepted for maintenance a Permanent Facility on the Servient Estate as constructed and installed by the Grantor. Upon the occurrence of such events; on request of Grantor, ACHD will execute and deliver to Grantor a release of this Easement.

Section 6. Covenants Run with the Land.

Throughout the term of this Easement, it shall be a burden upon the Servient Estate and shall be appurtenant to and for the benefit of the ACHD system of highways, and shall run with the land.

Section 7. Attorneys Fees and Costs.

In any suit, action or appeal therefrom to enforce or interpret this Easement, the prevailing party shall be entitled to recover its costs incurred therein, including reasonable attorneys' fees.

Section 8. Exhibits.

All exhibits attached hereto and the recitals contained herein are incorporated as if set forth in full herein.

Section 9. Modification.

This Easement may not be amended in whole or in part except by written instrument, duly executed and acknowledged by the parties hereto, and recorded.

Section 10. Notices.

All notices given pursuant to this Easement shall be in writing and shall be given by personal delivery, by United States Mail Certified, Return Receipt Requested, or other established express delivery service (such as Federal Express), postage or delivery charge prepaid, addressed to the appropriate party at the address set forth below:

Grantor: Tucker M Johnson
372 S Eagle Road, Ste 328
Eagle, Idaho 83616

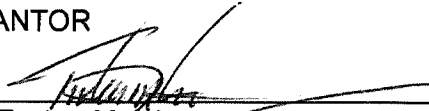
ACHD: Ada County Highway District
3775 N Adams Street
Garden City, Idaho 83714

Section 11. Recordation.

This Easement shall be recorded in the Real Property Records of Ada County, Idaho.

IN WITNESS WHEREOF, the undersigned have cause this Easement to be executed the day and year first set forth above.

GRANTOR


By: Tucker M Johnson
Its: Property Owner

STATE OF IDAHO)
) ss.
County of Ada)

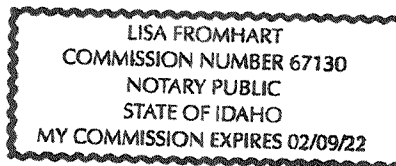
This record was acknowledged before me on March 5
2020

by Tucker M. Johnson [date]
[name(s) of individual(s)]

as Property Owner
[type of authority, such as officer or trustee]

of Green Village 2 Development INC
[name of party on behalf of whom record was executed]

Lisa Fromhart
Signature of notary public



My commission expires: 2/09/22

EXHIBIT LIST

Exhibit "A". Legal description of Servient Estate.

The Ada County Highway District (ACHD) is committed to compliance with Title VI of the Civil Rights Act of 1964 and related regulations and directives. ACHD assures that no person shall on the grounds of race, color, national origin, gender, disability or age, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any ACHD service, program or activity.

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

EXHIBIT A
STORM DRAIN EASMENT NO. 1

FOR
GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SW 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lots 2 and 4 of Block 1 of *RUSTY SPUR RANCHETTES* as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 53°04'47" W a distance of 1808.25 feet to the POINT OF BEGINNING;

Thence N 88°42'57" W a distance of 212.05 feet to a point;

Thence N 1°17'03" E a distance of 31.00 feet to a point;

Thence S 88°42'57" E a distance of 110.00 feet to a point;

Thence N 1°17'03" E a distance of 75.00 feet to a point;

Thence S 88°42'57" E a distance of 97.38 feet to a point;

Thence S 1°17'03" W a distance of 25.00 feet to a point;

Thence S 4°02'54" E a distance of 50.22 feet to a point;

Thence S 1°17'03" W a distance of 31.00 feet to the POINT OF BEGINNING.

This parcel contains 13,994 square feet (0.321 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

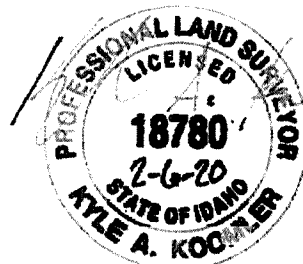
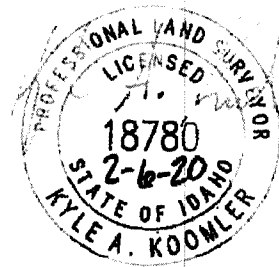
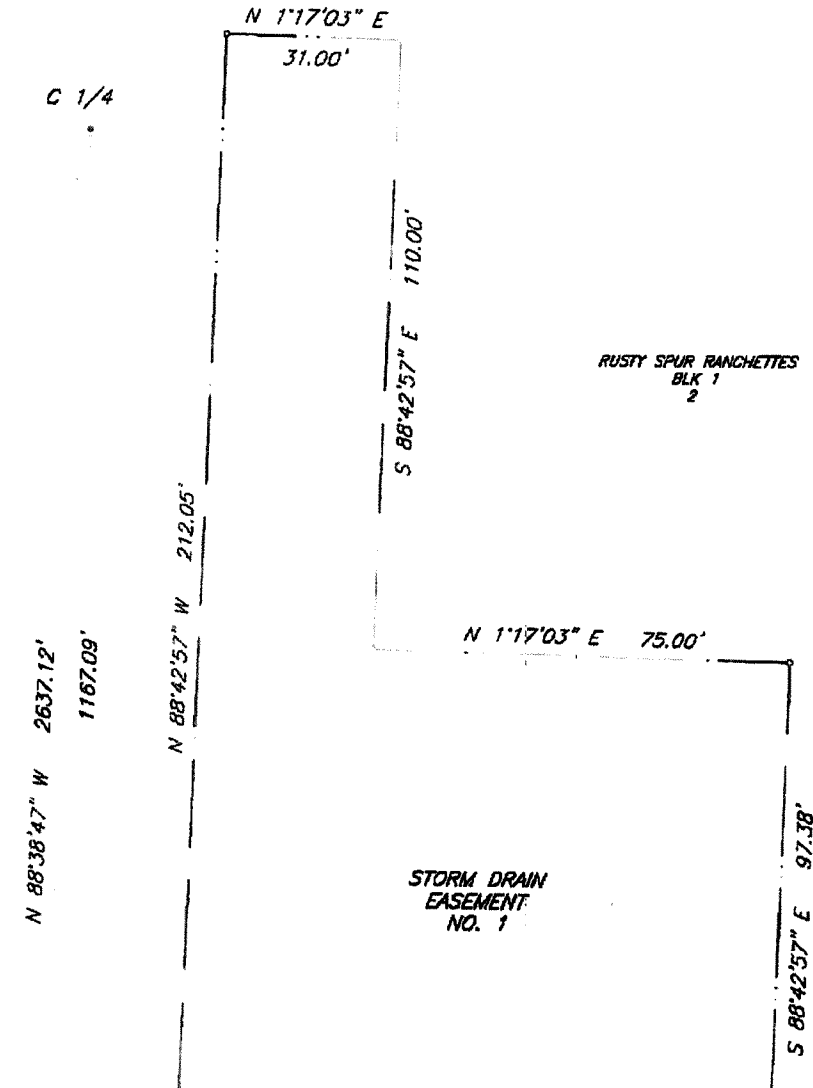


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO



SCALE: 1"=30'

CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312

EXHIBIT A

STORM DRAIN EASMENT NO. 2

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SW 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lots 2 and 4 of Block 1 of *RUSTY SPUR RANCHETTES* as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 60°35'17" W a distance of 1651.42 feet to the POINT OF BEGINNING;

Thence N 88°42'57" W a distance of 184.57 feet to a point;

Thence N 1°17'03" E a distance of 26.00 feet to a point;

Thence S 88°42'57" E a distance of 79.99 feet to a point;

Thence N 1°17'03" E a distance of 75.00 feet to a point;

Thence S 88°42'57" E a distance of 91.35 feet to a point;

Thence S 1°17'03" W a distance of 25.00 feet to a point;

Thence S 13°32'49" E a distance of 51.72 feet to a point;

Thence S 1°17'03" W a distance of 26.00 feet to the POINT OF BEGINNING.

This parcel contains 11,981 square feet (0.275 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

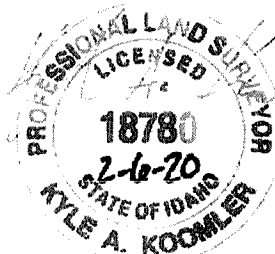
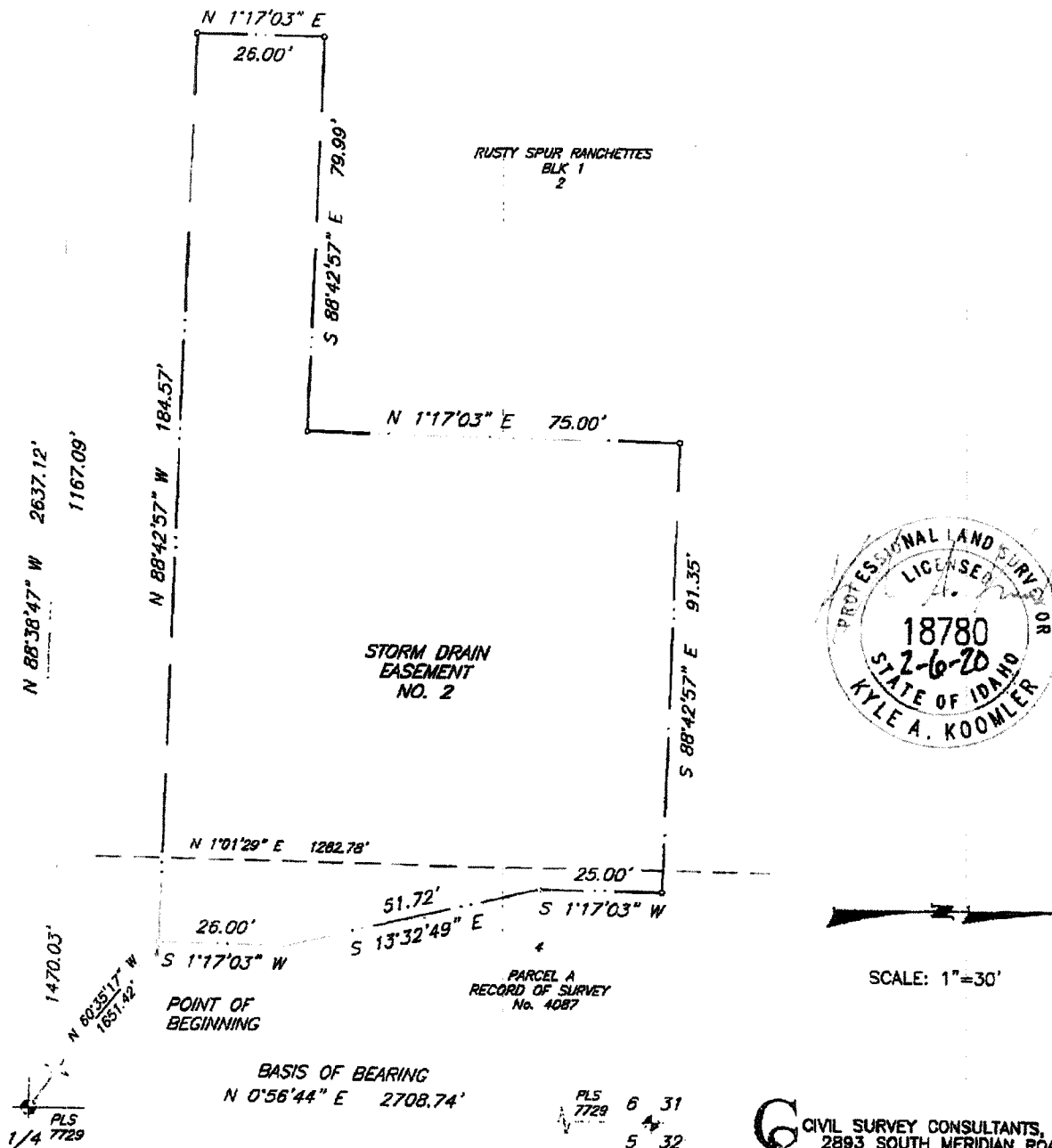


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO

C 1/4



CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312

EXHIBIT A

STORM DRAIN EASMENT NO. 3

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SW 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lots 2 and 4 of Block 1 of *RUSTY SPUR RANCHETTES* as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 67°05'32" W a distance of 1572.39 feet to the POINT OF BEGINNING;

Thence N 66°00'55" W a distance of 183.62 feet to a point;

Thence N 18°04'07" E a distance of 44.12 feet to a point;

Thence S 88°42'57" E a distance of 212.00 feet to a point;

Thence S 43°54'18" E a distance of 31.53 feet to a point;

Thence S 46°05'42" W a distance of 22.91 feet to a point;

Thence a distance of 96.89 feet along the arc of a 525.00 foot radius curve left, said curve having a central angle of 10°34'26" and a long chord bearing S 40°48'29" W a distance of 96.75 feet to the POINT OF BEGINNING.

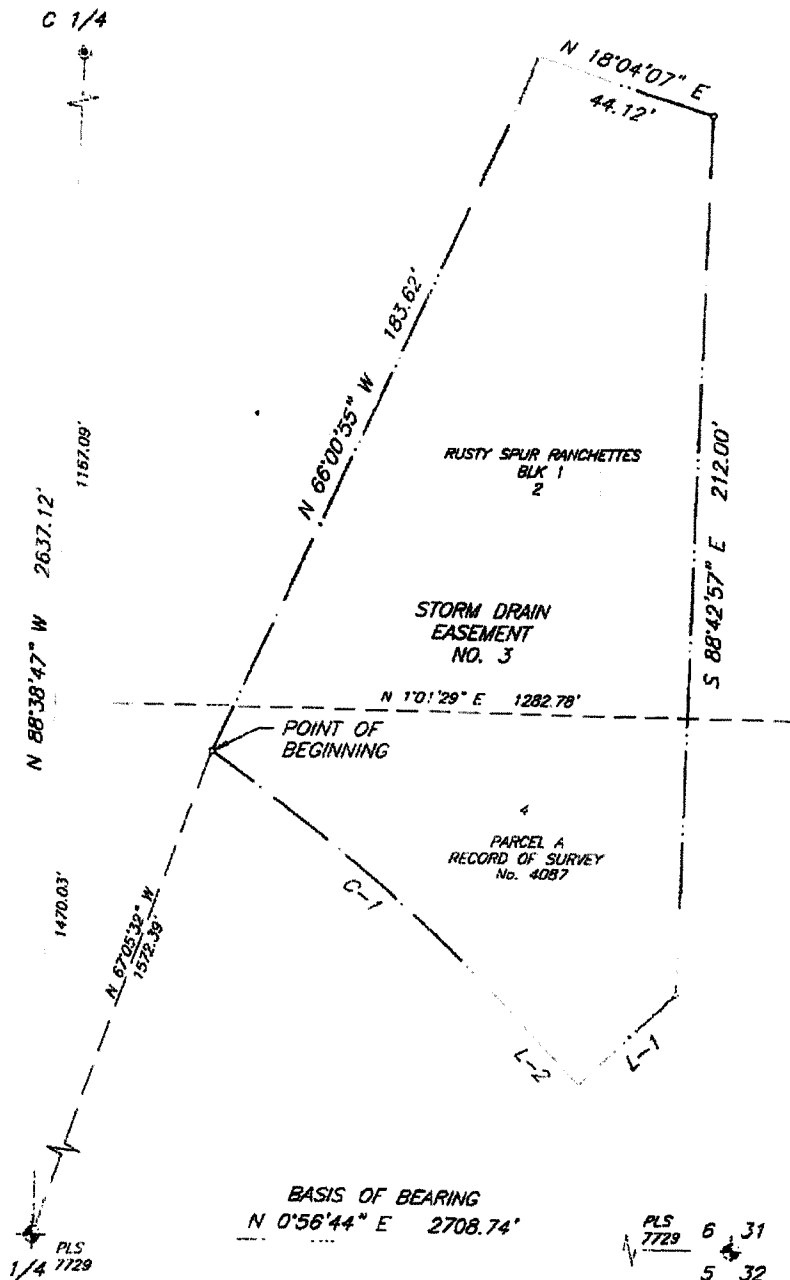
This parcel contains 17,652 square feet (0.405 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020



EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO



SCALE: 1"=40'



CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312

CURVE DATA

CURVE	DELTA	RADIUS	ARC	TANGENT
C-1	10°34'26"	525.00	96.89	48.58

LINE DATA

LINE	BEARING	DISTANCE
L-1	S 43°54'18" E	31.53'
L-2	S 46°05'42" W	22.91'

CHORD	CHORD BRNG.
96.75	S 40°48'29" W

EXHIBIT A

STORM DRAIN EASMENT NO. 4

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SW 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lot 2 of Block 1 of *RUSTY SPUR RANCHETTES* as shown in Book 64 of Plats at Page 6463 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 73°51'14" W a distance of 1624.45 feet to the POINT OF BEGINNING;

Thence N 66°00'55" W a distance of 107.00 feet to a point;

Thence N 23°59'05" E a distance of 27.00 feet to a point;

Thence S 66°00'55" E a distance of 82.00 feet to a point;

Thence N 50°32'59" E a distance of 55.90 feet to a point;

Thence S 23°59'05" W a distance of 77.00 feet to the POINT OF BEGINNING.

This parcel contains 3,514 square feet (0.081 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

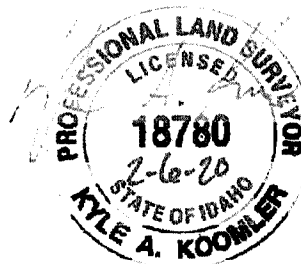
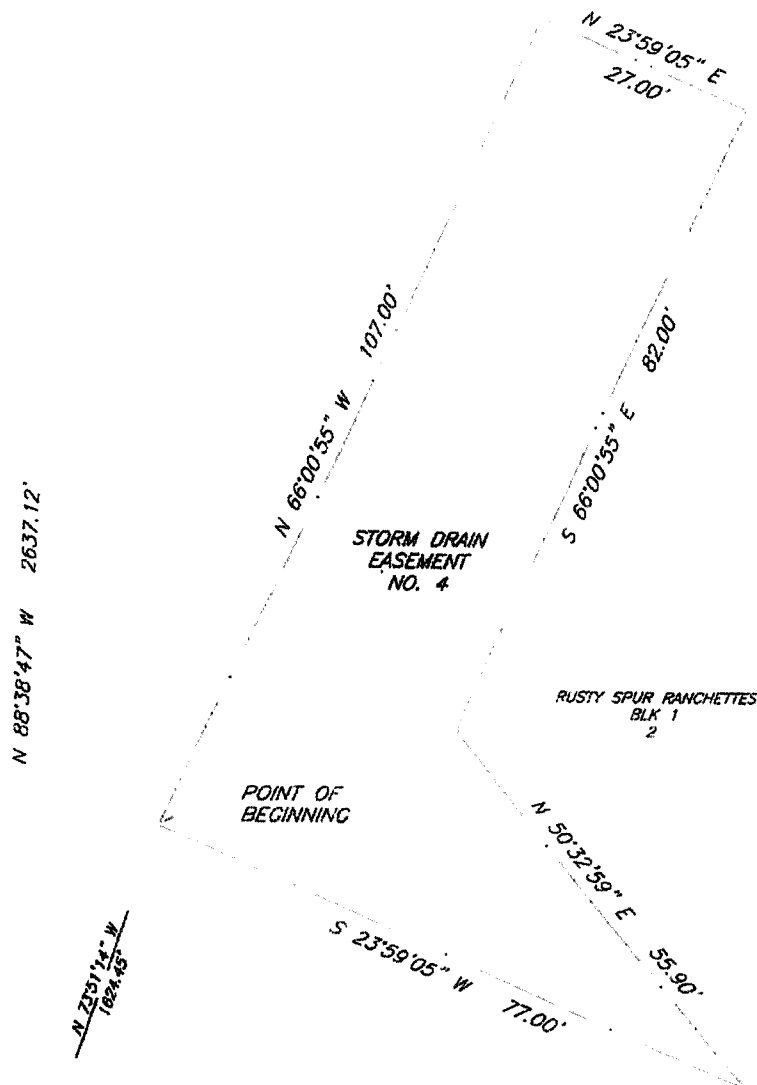


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO

C 1/4



SCALE: 1"=20'

BASIS OF BEARING
N 0°56'44" E 2708.74

PLS
1/4 7729

PLS 6 31
7729 4
5 32



CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312

TEMPORARY STORM WATER DRAINAGE EASEMENT

This Storm Water drainage Easement ("Easement") is made as of the 5 day of March, 2020 by and between Tucker M Johnson, Property Owner, and Ada County Highway District, a body corporate and politic of the State of Idaho (hereinafter "ACHD");

WITNESSETH:

For good and sufficient consideration it is agreed:

Section 1. Recitals.

1.1 Grantor owns the parcel of real property located in Ada County, Idaho, more particularly described and depicted on Exhibit "A" attached hereto (the "Servient Estate").

1.2 Grantor is developing a subdivision in Ada County, known as the Greiner Hope Springs Subdivision No 1 and the preliminary plat of the first phase of such subdivision has been approved by ACHD. When the final plat is approved by ACHD and recorded, a public right-of-way for streets and related improvements, including drainage easements will be dedicated to ACHD. When the streets and related improvements are constructed by the Grantor in the right-of-way, and ACHD has accepted the same, they will become a part of the ACHD system of highways.

1.3 The storm water drainage system related to the platted streets to be dedicated to ACHD when the plat referred to in Section 1.2 is recorded will extend beyond the plat and on, over and across the Servient Estate as a temporary storm water drainage system ("Temporary Facility"), to be replaced with a permanent storm water drainage system ("Permanent Facility") with the development of the Servient Estate, and on the terms and conditions hereinafter set forth the Grantor desires to grant to ACHD, and ACHD desires to accept, an easement for storm water drainage on, over, under and across the Servient Estate, and for the repair, maintenance, reconstruction, and enhancement thereof.

Section 2. Grant of Easement

2.1 For the period and on the terms and conditions hereinafter set forth, Grantor hereby grants to ACHD an easement and right-of-way for storm water drainage from the ACHD system of highways on, under, over and across the

Servient Estate, and for the repair, maintenance, reconstruction and enhancement of the same (hereafter "Authorized Use")

2.2 The easement herein granted is exclusive to ACHD, and no structures, fences or other improvements are to be constructed, or landscaping planted, on the Servient Estate by Grantor or Grantor's successors or assigns to the underlying title thereto without the prior written consent of ACHD. Such consent will not be given if, in its sole discretion, ACHD determines the proposed improvement and/or landscaping may interfere with ACHD's Authorized Use of the Servient Estate. When such consent is given, if any structures, fences, landscaping or other improvements constructed or planted on the Servient Estate must be removed in order for ACHD to undertake any Authorized Use of the Servient Estate, the costs of removal and replacement or restoration of the same shall be the obligation of Grantor.

Section 3. Construction; Acceptance; Repair and Maintenance; Grantor Indemnification; Contractor Warranties.

3.1 At Grantor's sole cost and expense, Grantor shall construct and install the Temporary Facility on the Servient Estate in accordance with designs, plans and specifications approved by ACHD in advance, in writing. During construction, Grantor shall give ACHD reasonable notice and opportunity to inspect the same.

3.2 When, by written notice given Grantor, ACHD has accepted the Temporary Facility on the Servient Estate as constructed and installed by Grantor, Grantor shall maintain and repair the Temporary Facility thereafter, at its sole cost and expense for the term of this Easement.

3.3 Grantor shall enforce for the benefit of ACHD any warranties for the construction and installation of the Temporary Facility.

3.4 Grantor shall indemnify and save and hold harmless ACHD, its Commissioners and employees, from and against all claims, actions or judgments for damages, injury or death caused by or arising out of the failure or neglect of Grantor to properly construct, install, maintain and repair the Temporary Facility on the Servient Estate.

Section 4. Grantor Indemnification.

Following ACHD's acceptance of the Temporary Facility as constructed by Grantor, Grantor shall indemnify and hold harmless ACHD from and against all claims, actions or judgments for damages, injury or death caused by or arising out of Grantor's failure or neglect to maintain and repair the Temporary Facility on the Servient Estate for the term of this Easement.

Section 5. Term.

The term of this Easement shall commence upon the date of the recording thereof, and continue in full force and effect until: (i) Grantor records a final subdivision plat covering the Servient Estate which includes a dedication of an easement to ACHD serving the same purpose as this Easement, and (ii) ACHD has accepted for maintenance a Permanent Facility on the Servient Estate as constructed and installed by the Grantor. Upon the occurrence of such events; on request of Grantor, ACHD will execute and deliver to Grantor a release of this Easement.

Section 6. Covenants Run with the Land.

Throughout the term of this Easement, it shall be a burden upon the Servient Estate and shall be appurtenant to and for the benefit of the ACHD system of highways, and shall run with the land.

Section 7. Attorneys Fees and Costs.

In any suit, action or appeal therefrom to enforce or interpret this Easement, the prevailing party shall be entitled to recover its costs incurred therein, including reasonable attorneys' fees.

Section 8. Exhibits.

All exhibits attached hereto and the recitals contained herein are incorporated as if set forth in full herein.

Section 9. Modification.

This Easement may not be amended in whole or in part except by written instrument, duly executed and acknowledged by the parties hereto, and recorded.

Section 10. Notices.

All notices given pursuant to this Easement shall be in writing and shall be given by personal delivery, by United States Mail Certified, Return Receipt Requested, or other established express delivery service (such as Federal Express), postage or delivery charge prepaid, addressed to the appropriate party at the address set forth below:

Grantor: Tucker M Johnson
372 S Eagle Road, Ste 328
Eagle, Idaho 83616

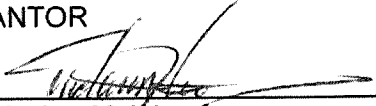
ACHD: Ada County Highway District
3775 N Adams Street
Garden City, Idaho 83714

Section 11. Recordation.

This Easement shall be recorded in the Real Property Records of Ada County, Idaho.

IN WITNESS WHEREOF, the undersigned have cause this Easement to be executed the day and year first set forth above.

GRANTOR



By: Tucker M. Johnson
Its: Property Owner

STATE OF IDAHO)
) ss.
County of Ada)

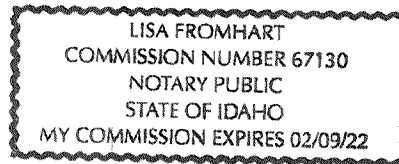
This record was acknowledged before me on March 5,
2020 [date]

by Tucker M Johnson
[name(s) of individual(s)]

as Property Owner
[type of authority, such as officer or trustee]

of Green Village 2 Development Inc.
[name of party on behalf of whom record was executed]

Lisa Fromhart
Signature of notary public



My commission expires: 2/09/22

EXHIBIT LIST

Exhibit "A". Legal description of Servient Estate.

The Ada County Highway District (ACHD) is committed to compliance with Title VI of the Civil Rights Act of 1964 and related regulations and directives. ACHD assures that no person shall on the grounds of race, color, national origin, gender, disability or age, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any ACHD service, program or activity.

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

EXHIBIT A
STORM DRAIN EASMENT NO. 5

FOR
GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SE 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of Lots 5 and 6 of Block 1 of *RUSTY SPUR RANCHETTES SUBDIVISION NO. 2* as shown in Book 64 of Plats at Page 6556 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 52°58'41" W a distance of 1249.82 feet to the POINT OF BEGINNING;

Thence N 36°11'37" W a distance of 35.24 feet to a point;

Thence N 53°48'23" E a distance of 182.01 feet to a point;

Thence S 36°11'37" E a distance of 12.25 feet to a point;

Thence N 56°58'05" E a distance of 48.43 feet to a point;

Thence S 33°01'55" E a distance of 20.35 feet to a point;

Thence S 53°48'23" W a distance of 229.25 feet to the POINT OF BEGINNING.

This parcel contains 7,450 square feet (0.171 acres) and is subject to any other easements, existing or in use.

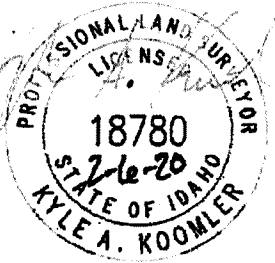
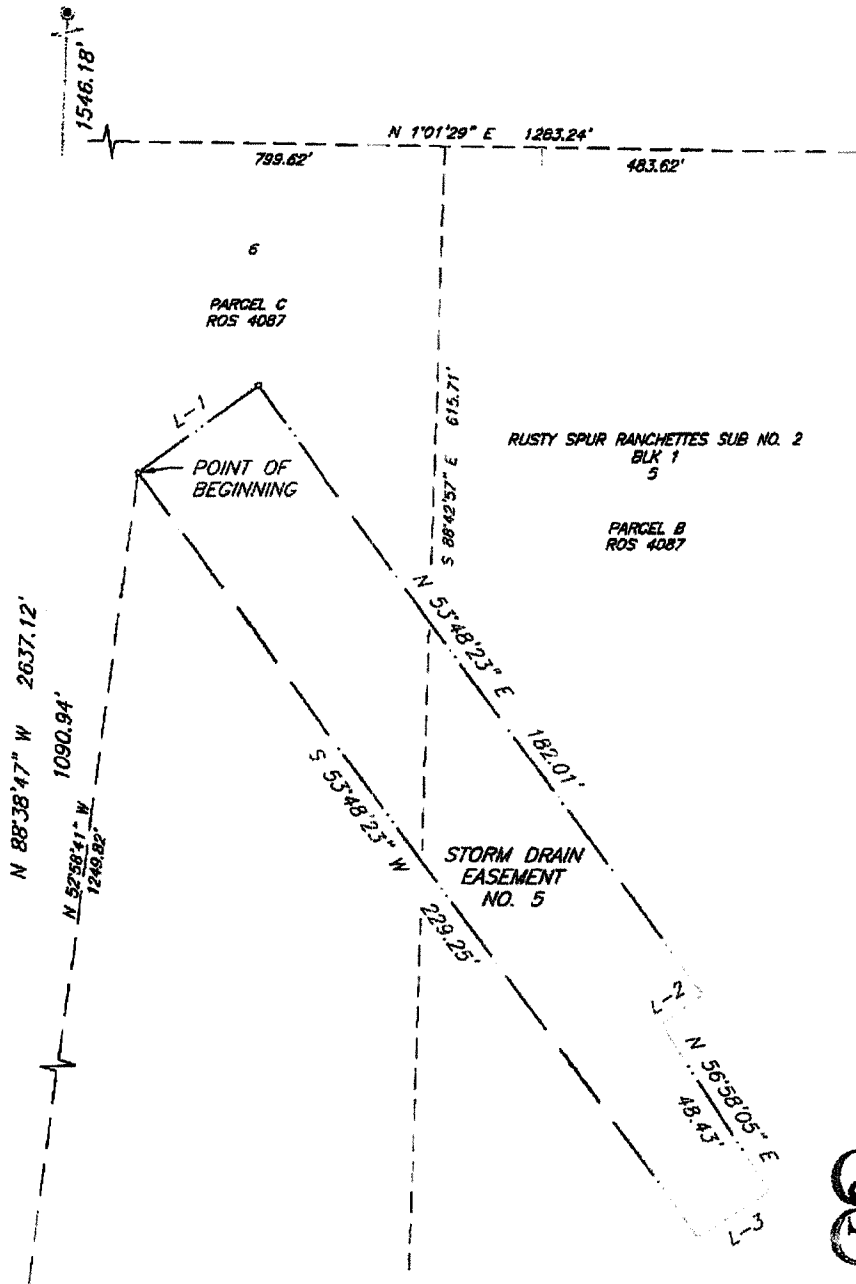
Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020



EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO

C 1/4



SCALE: 1"=40'



CIVIL SURVEY CONSULTANTS, INC.
2893 SOUTH MERIDIAN ROAD
MERIDIAN, IDAHO 83642
(208)888-4312

BASIS OF BEARING
N 0°56'44" E 2708.74'

PLS 6 31
7729 5 32

LINE DATA

LINE	BEARING	DISTANCE
L-1	N 36°11'32" W	35.24'
L-2	S 36°11'32" E	72.25'
L-3	S 33°01'55" E	20.35'

PLS 1/4 7729

Greiner Hope Springs Subdivision No 1
SUBP20-0004
T 4N, R 1W Sec 6

(Reserved for Ada County Recorder's)

TEMPORARY STORM WATER DRAINAGE EASEMENT

This Storm Water drainage Easement ("Easement") is made as of the 5 day of March, 2020 by and between Tucker M Johnson, Property Owner, and Ada County Highway District, a body corporate and politic of the State of Idaho (hereinafter "ACHD");

WITNESSETH:

For good and sufficient consideration it is agreed:

Section 1. Recitals.

1.1 Grantor owns the parcel of real property located in Ada County, Idaho, more particularly described and depicted on Exhibit "A" attached hereto (the "Servient Estate").

1.2 Grantor is developing a subdivision in Ada County, known as the Greiner Hope Springs Subdivision No 1 and the preliminary plat of the first phase of such subdivision has been approved by ACHD. When the final plat is approved by ACHD and recorded, a public right-of-way for streets and related improvements, including drainage easements will be dedicated to ACHD. When the streets and related improvements are constructed by the Grantor in the right-of-way, and ACHD has accepted the same, they will become a part of the ACHD system of highways.

1.3 The storm water drainage system related to the platted streets to be dedicated to ACHD when the plat referred to in Section 1.2 is recorded will extend beyond the plat and on, over and across the Servient Estate as a temporary storm water drainage system ("Temporary Facility"), to be replaced with a permanent storm water drainage system ("Permanent Facility") with the development of the Servient Estate, and on the terms and conditions hereinafter set forth the Grantor desires to grant to ACHD, and ACHD desires to accept, an easement for storm water drainage on, over, under and across the Servient Estate, and for the repair, maintenance, reconstruction, and enhancement thereof.

Section 2. Grant of Easement

2.1 For the period and on the terms and conditions hereinafter set forth, Grantor hereby grants to ACHD an easement and right-of-way for storm water drainage from the ACHD system of highways on, under, over and across the

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

Servient Estate, and for the repair, maintenance, reconstruction and enhancement of the same (hereafter "Authorized Use")

2.2 The easement herein granted is exclusive to ACHD, and no structures, fences or other improvements are to be constructed, or landscaping planted, on the Servient Estate by Grantor or Grantor's successors or assigns to the underlying title thereto without the prior written consent of ACHD. Such consent will not be given if, in its sole discretion, ACHD determines the proposed improvement and/or landscaping may interfere with ACHD's Authorized Use of the Servient Estate. When such consent is given, if any structures, fences, landscaping or other improvements constructed or planted on the Servient Estate must be removed in order for ACHD to undertake any Authorized Use of the Servient Estate, the costs of removal and replacement or restoration of the same shall be the obligation of Grantor.

Section 3. Construction; Acceptance; Repair and Maintenance; Grantor Indemnification; Contractor Warranties.

3.1 At Grantor's sole cost and expense, Grantor shall construct and install the Temporary Facility on the Servient Estate in accordance with designs, plans and specifications approved by ACHD in advance, in writing. During construction, Grantor shall give ACHD reasonable notice and opportunity to inspect the same.

3.2 When, by written notice given Grantor, ACHD has accepted the Temporary Facility on the Servient Estate as constructed and installed by Grantor, Grantor shall maintain and repair the Temporary Facility thereafter, at its sole cost and expense for the term of this Easement.

3.3 Grantor shall enforce for the benefit of ACHD any warranties for the construction and installation of the Temporary Facility.

3.4 Grantor shall indemnify and save and hold harmless ACHD, its Commissioners and employees, from and against all claims, actions or judgments for damages, injury or death caused by or arising out of the failure or neglect of Grantor to properly construct, install, maintain and repair the Temporary Facility on the Servient Estate.

Section 4. Grantor Indemnification.

Following ACHD's acceptance of the Temporary Facility as constructed by Grantor, Grantor shall indemnify and hold harmless ACHD from and against all claims, actions or judgments for damages, injury or death caused by or arising out of Grantor's failure or neglect to maintain and repair the Temporary Facility on the Servient Estate for the term of this Easement.

Section 5. Term.

The term of this Easement shall commence upon the date of the recording thereof, and continue in full force and effect until: (i) Grantor records a final subdivision plat covering the Servient Estate which includes a dedication of an easement to ACHD serving the same purpose as this Easement, and (ii) ACHD has accepted for maintenance a Permanent Facility on the Servient Estate as constructed and installed by the Grantor. Upon the occurrence of such events; on request of Grantor, ACHD will execute and deliver to Grantor a release of this Easement.

Section 6. Covenants Run with the Land.

Throughout the term of this Easement, it shall be a burden upon the Servient Estate and shall be appurtenant to and for the benefit of the ACHD system of highways, and shall run with the land.

Section 7. Attorneys Fees and Costs.

In any suit, action or appeal therefrom to enforce or interpret this Easement, the prevailing party shall be entitled to recover its costs incurred therein, including reasonable attorneys' fees.

Section 8. Exhibits.

All exhibits attached hereto and the recitals contained herein are incorporated as if set forth in full herein.

Section 9. Modification.

This Easement may not be amended in whole or in part except by written instrument, duly executed and acknowledged by the parties hereto, and recorded.

Section 10. Notices.

All notices given pursuant to this Easement shall be in writing and shall be given by personal delivery, by United States Mail Certified, Return Receipt Requested, or other established express delivery service (such as Federal Express), postage or delivery charge prepaid, addressed to the appropriate party at the address set forth below:

Grantor: Tucker M Johnson
372 S Eagle Road, Ste 328
Eagle, Idaho 83616

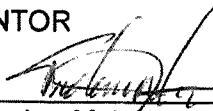
ACHD: Ada County Highway District
3775 N Adams Street
Garden City, Idaho 83714

Section 11. Recordation.

This Easement shall be recorded in the Real Property Records of Ada County, Idaho.

IN WITNESS WHEREOF, the undersigned have cause this Easement to be executed the day and year first set forth above.

GRANTOR



By: Tucker M Johnson
Its: Property Owner

STATE OF IDAHO)
) ss.
County of Ada)

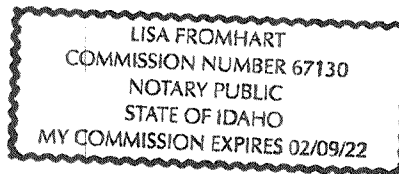
This record was acknowledged before me on March 5,
2020

by Tucker M Johnson [date]
[name(s) of individual(s)]

as Property Owner
[type of authority, such as officer or trustee]

of Green Village 2 Development Inc.
[name of party on behalf of whom record was executed]

Lisa Fromhart
Signature of notary public



My commission expires: 2/09/22

EXHIBIT LIST

Exhibit "A". Legal description of Servient Estate.

The Ada County Highway District (ACHD) is committed to compliance with Title VI of the Civil Rights Act of 1964 and related regulations and directives. ACHD assures that no person shall on the grounds of race, color, national origin, gender, disability or age, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any ACHD service, program or activity.

Temporary Storm Drain Easement – Grantor Maintains Temporary Facility
(11/16/15)

EXHIBIT A

STORM DRAIN EASMENT NO. 6

FOR

GREEN VILLAGE 2 DEVELOPMENT, INC

An easement located in the SE 1/4 of the NE 1/4 of Section 6, Township 4 North, Range 1 West, Boise Meridian, and being a part of *PARCEL B* as shown on Record of Survey No. 4087 in the office of the Recorder, Ada County, Idaho, more particularly described as follows:

Commencing at an aluminum cap monument marking the southeasterly corner of said NE 1/4, from which an aluminum cap monument marking the northeasterly corner of said NE 1/4 bears N 0°56'44" E a distance of 2708.74 feet;

Thence N 24°18'58" W a distance of 1156.32 feet to the POINT OF BEGINNING;

Thence S 82°17'14" W a distance of 148.11 feet to a point;

Thence N 18°42'29" W a distance of 46.19 feet to a point;

Thence N 1°15'15" E a distance of 59.81 feet to a point on the southerly boundary of said *PARCEL B*;

Thence S 88°44'45" E along said southerly boundary a distance of 91.65 feet to a 1/2 inch diameter iron pin marking the southeasterly corner of said *PARCEL B*;

Thence leaving said *PARCEL B* boundary S 2°46'44" E a distance of 54.64 feet to a point;

Thence N 89°44'17" E a distance of 65.92 feet to a point;

Thence S 0°10'29" E a distance of 27.39 feet to the POINT OF BEGINNING.

This parcel contains 11,015 square feet (0.253 acres) and is subject to any other easements, existing or in use.

Prepared by: Kyle A. Koomler, PLS
Civil Survey Consultants, Incorporated
February 6, 2020

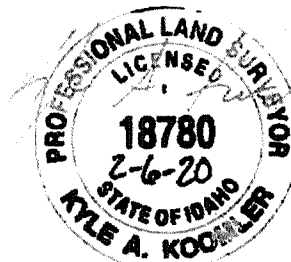


EXHIBIT B

SKETCH TO ACCOMPANY DESCRIPTIONS FOR GREEN VILLAGE 2 DEVELOPMENT, INC LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO

